

1050 MARKHAM ROAD

TORONTO, ON

CLIENT

CAPREIT

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WALLMAN ARCHITECTS

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ISSUED FOR ZBA:

JUNE 07, 2024

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COVER PAGE

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Statistics Template – Toronto Green Standard Version 4.0
Mid to High Rise Residential and all New Non-Residential Development

The Toronto Green Standard Version 4.0 Statistics Template is submitted with Site Plan Control Applications and stand-alone Zoning Bylaw Amendment applications. Complete the table and copy it directly onto the Site Plan submitted as part of the application.

For Zoning Bylaw Amendment applications: complete General Project Description and Section 1.
 For Site Plan Control applications: complete General Project Description, Section 1 and Section 2.
 For further information, please visit www.toronto.ca/greendevlopment

General Project Description	Proposed
Total Gross Floor Area	39,911.1
Breakdown of project components (m ²):	
Residential	39,911.1
Retail	
Commercial	
Industrial	
Institutional/Other	
Total number of residential units	635

Section 1: For Stand Alone Zoning Bylaw Amendment Applications and Site Plan Control Applications

Low Emissions Transportation	Required	Proposed	Proposed %
Number of Parking Spaces	34	208	612%
Number of EV Parking Spaces (Residential)	174	174	100%
Number of EV Parking Spaces (non-residential)	0	0	

Cycling Infrastructure	Required	Proposed	Proposed %
Number of long-term bicycle parking spaces (all-uses)	432	446	103%
Number of long-term bicycle parking located on:			
a) first storey of building		0	
b) second storey of building		0	
c) first level below-ground		192	
d) second level below-ground		128	
e) other levels below-ground		126	



Statistics Template – Toronto Green Standard Version 4.0
Mid to High Rise Residential and all New Non-Residential Development

Landscaping & Biodiversity	Required	Proposed	Proposed %
d) shade from high-albedo structures			
e) shade from energy generation structures			
Percentage of Lot Area as Soft Landscaping (non-residential only)			
Total number of plants			
Total number of native plants and % of total plants			
Available Roof Space (m ²)			
Available Roof Space provided as Green Roof (m ²)			
Available Roof Space provided as Cool Roof (m ²)		-	
Available Roof Space provided as Solar Panels (m ²)		-	

Bird Collision Deterrence	Required	Proposed	Proposed %
Total area of glazing of all elevations within 1.6m above grade			
Total area of treated glazing (minimum 85% of total area of glazing within 1.6m above grade) (m ²)			
Percentage of glazing within 1.6m above grade treated with:			
a) Visual markers			
b) non-reflective glass			
c) Building integrated structures			



Statistics Template – Toronto Green Standard Version 4.0
Mid to High Rise Residential and all New Non-Residential Development

Cycling Infrastructure	Required	Proposed	Proposed %
Number of short-term bicycle parking spaces	45	50	111%
Number of shower and change facilities (non-residential)	N/A	0	

Tree Canopy	Required	Proposed	Proposed %
Total Soil Volume (40% of the site area + 66 m ² x 30 m ³)	936.65	937.05	100%
Soil volume provided within the site area (m ³)		241.05	26%
Soil Volume provided within the public boulevard (m ³)		696	74%

Section 2: For Site Plan Control Applications

Cycling Infrastructure	Required	Proposed	Proposed %
Number of short-term bicycle parking spaces (all uses) at-grade or on first level below grade			
Number of publicly accessible bicycle parking spaces			
Number of energized outlets for electric bicycles			

Tree Canopy	Required	Proposed	Proposed %
Total site area (m ²)			
Total Soil Volume (40% of the site area + 66 m ² x 30 m ³)			
Total number of trees planted			
Number of surface parking spaces (if applicable)		-	
Number of shade trees located in surface parking area		-	

Landscaping & Biodiversity	Required	Proposed	Proposed %
Total non-roof hardscape area (m ²)			
Total non-roof hardscape area treated for Urban Heat Island (minimum residential 75% or non-residential 50%) (m ²)			
Area of non-roof hardscape treated with: (indicate m ²)			
a) high-albedo surface material			
b) open-grid pavement			
c) shade from tree canopy			

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TGS STATISTICS

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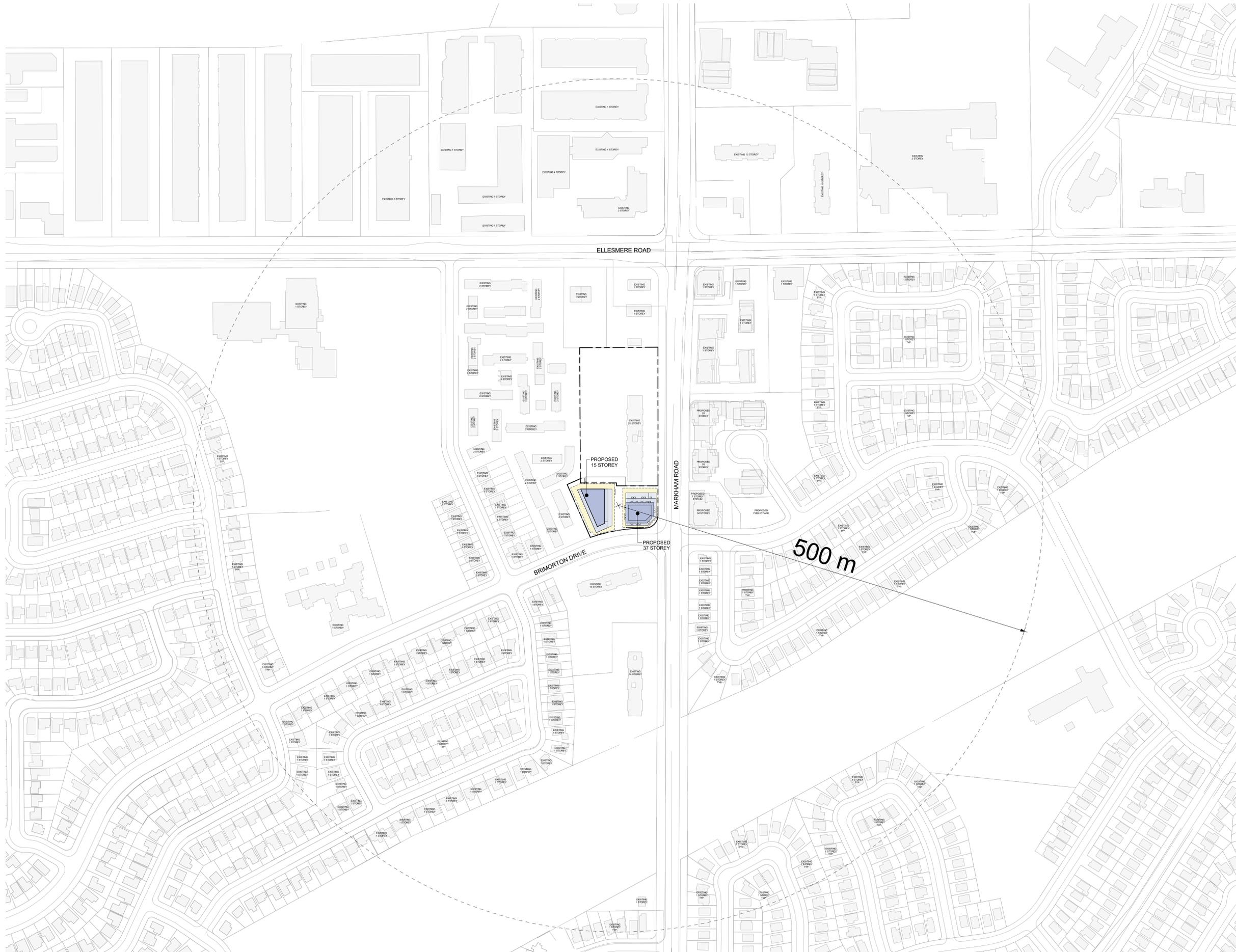
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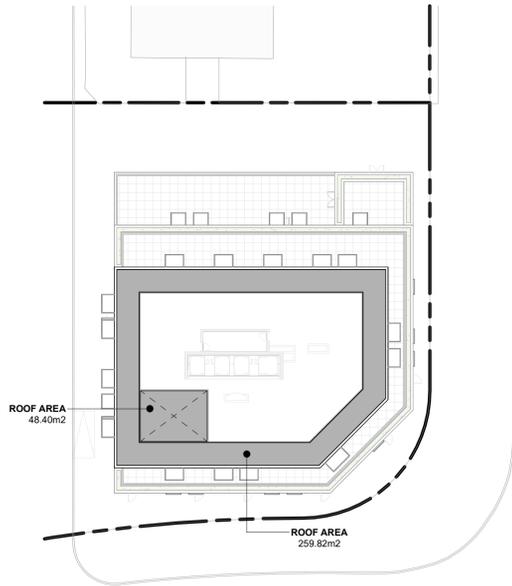
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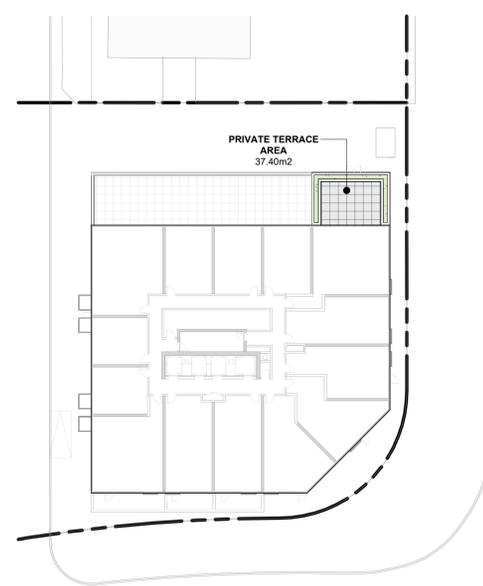
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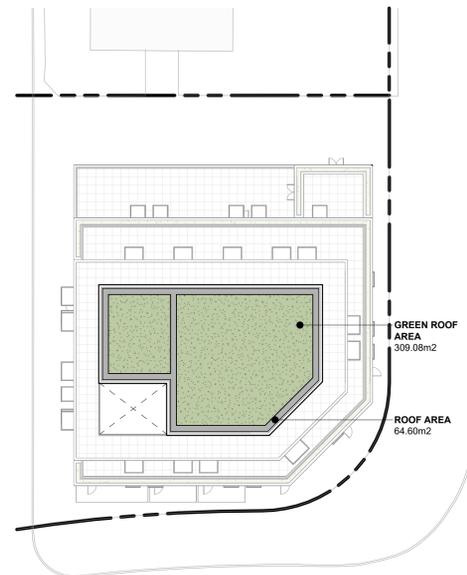
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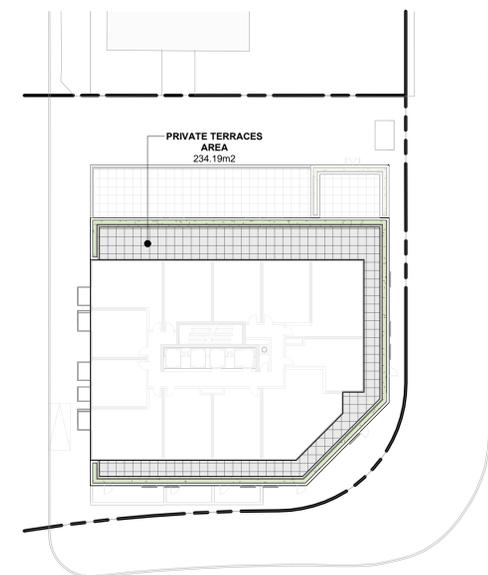
LEVEL MPH : GREEN ROOF DIAGRAM 4



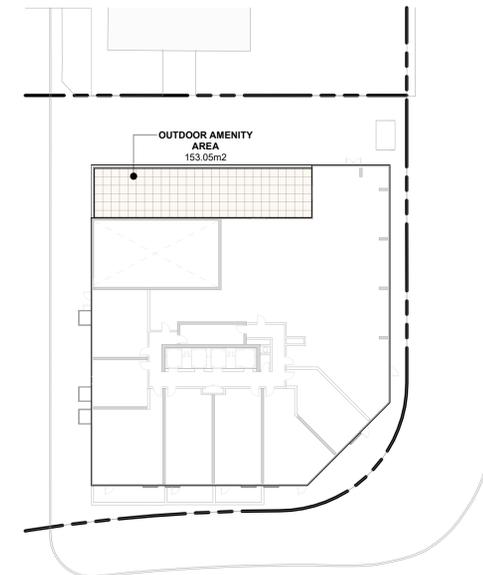
LEVEL 03 : GREEN ROOF DIAGRAM 2



ROOF LEVEL : GREEN ROOF DIAGRAM 5



LEVEL 07 : GREEN ROOF DIAGRAM 3



LEVEL 02 : GREEN ROOF DIAGRAM 1

Toronto City Planning Division **Green Roof Statistics**

The Green Roof Statistics Template is required to be submitted for Site Plan Control Applications where a green roof is required under the Toronto Municipal Code Chapter 492, Green Roofs. Complete the table below and copy it directly onto the Roof Plan submitted as part of any Site Plan Control Application requiring a green roof in accordance with the Bylaws. Refer to Section 5.492.1 of the Municipal Code for a complete list of defined terms, and greater clarity and certainty regarding the intent and application of the terms included in the template. The Toronto Municipal Code Chapter 492, Green Roofs can be found online at: <http://www.toronto.ca/bylaws/bylawcode/492.pdf>

Green Roof Statistics	Proposed
Gross Floor Area, as defined in Green Roof Bylaw (m ²)	184,814
Total Roof Area (m ²)	2,170,414
Area of Residential Private Terraces (m ²)	163,917
Roof-top Outdoor Amenity Space, if in a Residential Building (m ²)	0
Area of Renewable Energy Devices (m ²)	0
Tower (x/Roof Area with floor plate less than 750 m ²)	0
Total Available Roof Space (m ²)	1,762,587
Green Roof Coverage	Required: 100% Proposed: 100%
Coverage of Available Roof Space (m ²)	Required: 100% Proposed: 100%
Coverage of Available Roof Space (%)	Required: 100% Proposed: 100%

- GREEN ROOF LEGEND - BUILDING A:**
- PRIVATE TERRACE AREA 271.59m²
 - ROOF AREA 259.82m²
 - REQUIRED ROOFTOP AMENITY SPACE PROVIDED 153.05m²
 - GREEN ROOF AREA 309.27m²
 - TOTAL ROOF AREA 1,077.73m²

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GREEN ROOF DIAGRAM - BUILDING A

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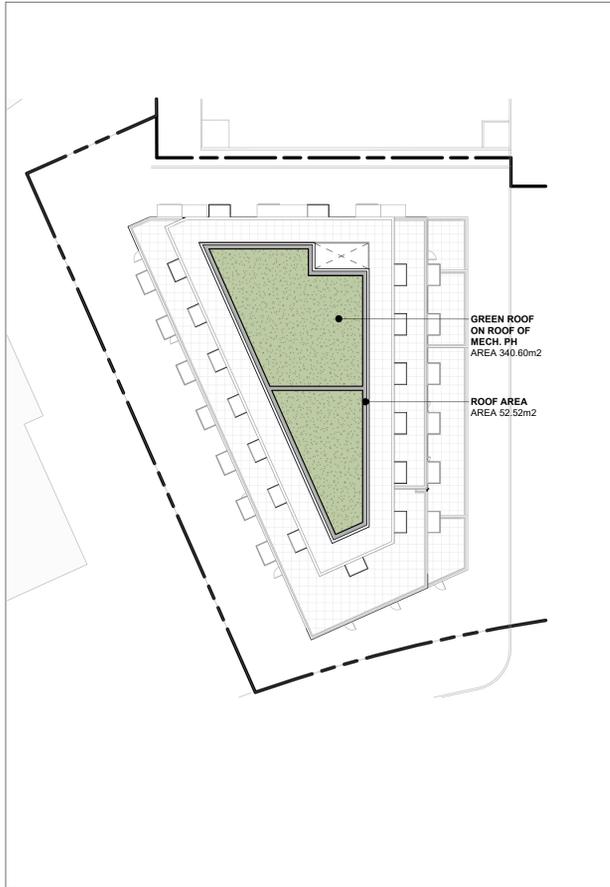
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2024-06-07 Date

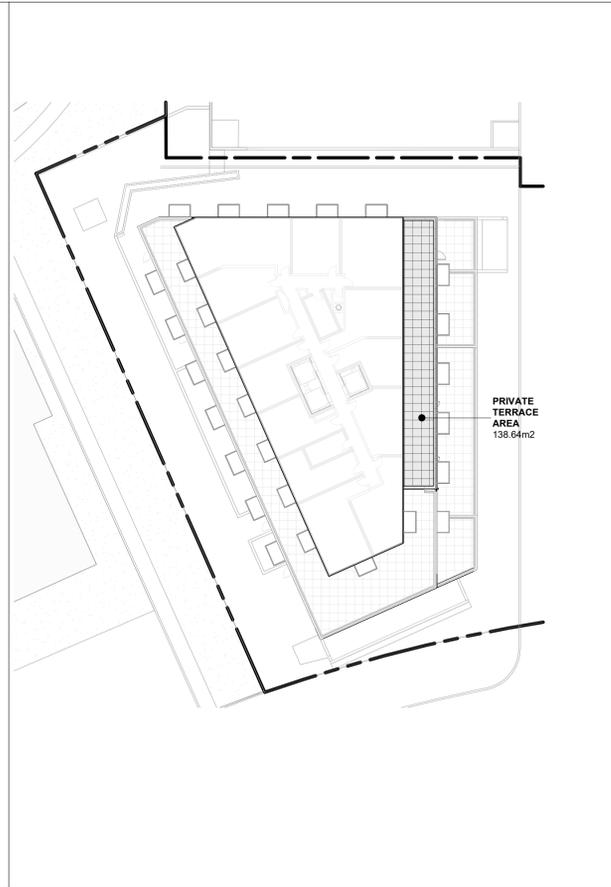
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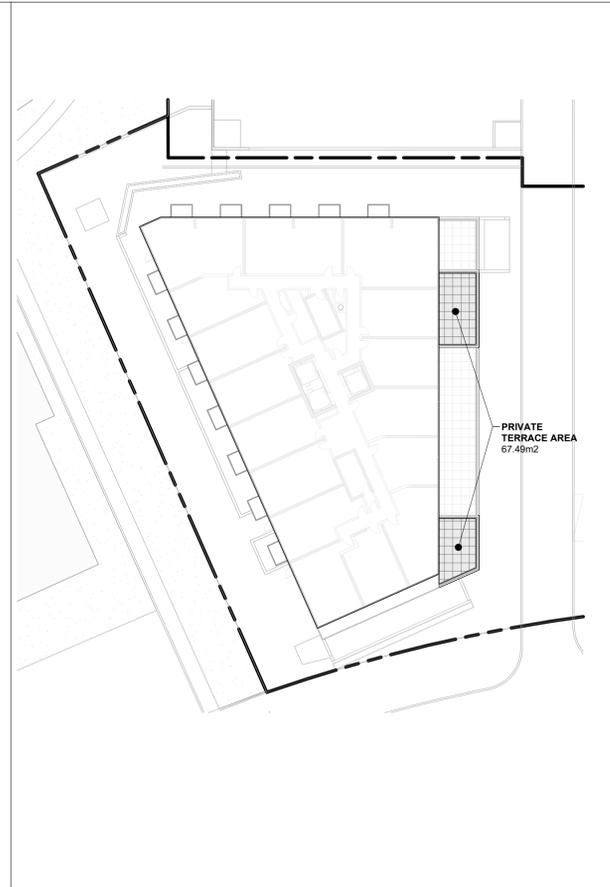
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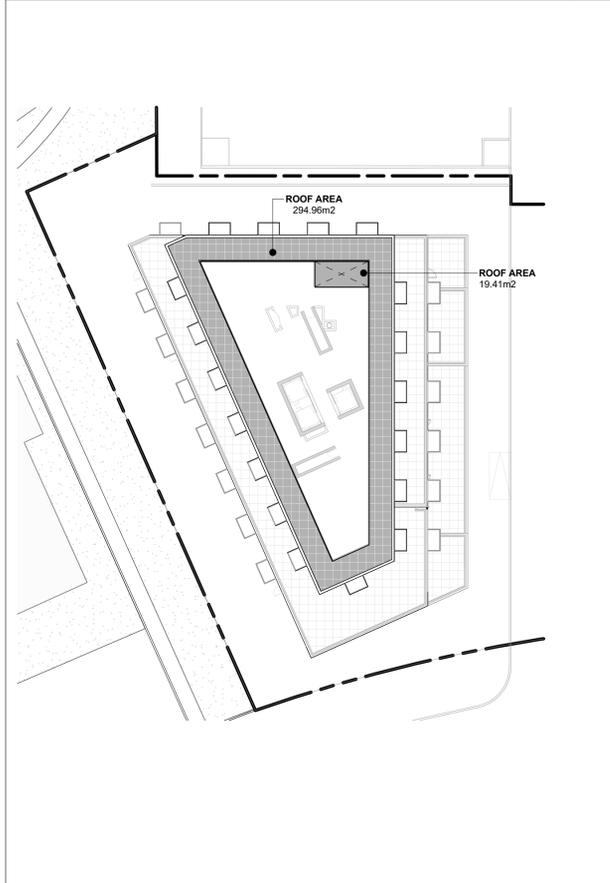
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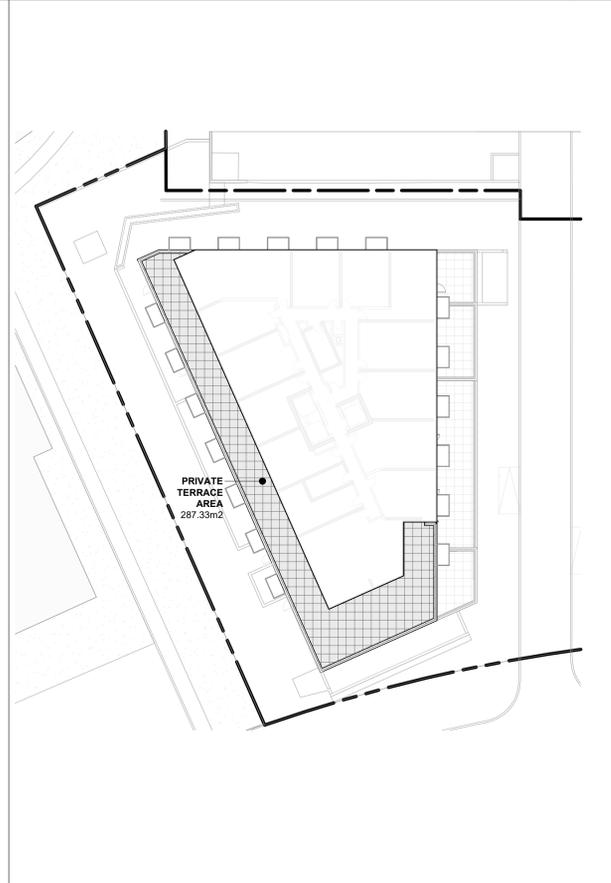
LEVEL 07 : GREEN ROOF DIAGRAM 4



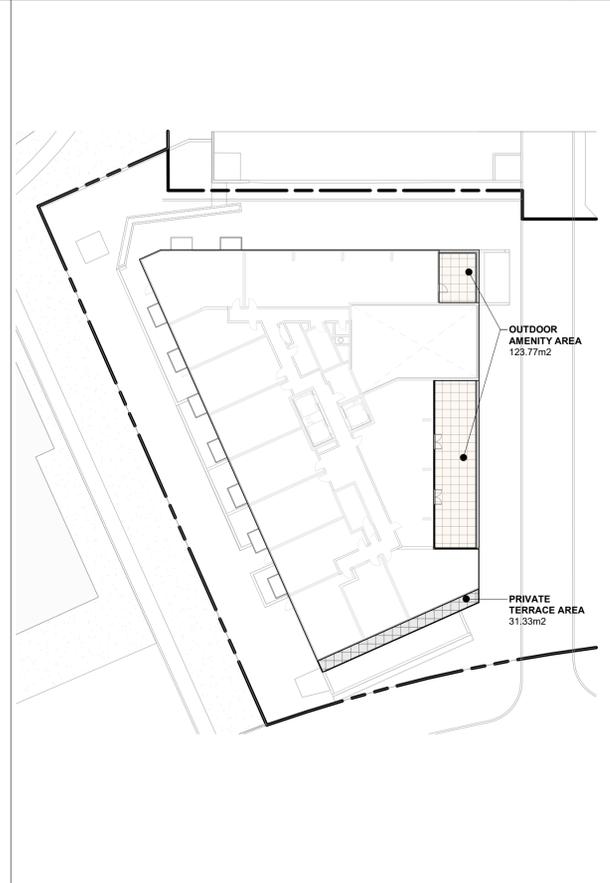
LEVEL 03 : GREEN ROOF DIAGRAM 2



LEVEL MPH : GREEN ROOF DIAGRAM 5



LEVEL 05 : GREEN ROOF DIAGRAM 3



LEVEL 02 : GREEN ROOF DIAGRAM 1

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Green Roof Statistics	Required	Proposed
Gross Floor Area, as defined in Green Roof Bylaw (m ²)	184,914	184,914
Total Roof Area (m ²)	2,170	2,170
Area of Residential Private Terraces (m ²)	183,937	183,937
Roofing Outdoor Amenity Space, if in a Residential Building (m ²)	0	0
Area of Renewable Energy Devices (m ²)	17,973	17,973
Tower (x)Roof Area with floor plate less than 750 m ²	17,973	17,973
Total Available Roof Space (m ²)	17,973	17,973
Green Roof Coverage	100.0%	100.0%
Coverage of Available Roof Space (m ²)	100.0%	100.0%
Coverage of Available Roof Space (%)	100%	100%

GREEN ROOF LEGEND - BUILDING B:

- PRIVATE TERRACE AREA 524.79m²
- ROOF AREA 366.89m²
- REQUIRED ROOFTOP AMENITY SPACE PROVIDED 123.77m²
- GREEN ROOF AREA 340.60m²
- TOTAL ROOF AREA 1,366.05m²

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Drawing Title
GREEN ROOF DIAGRAM - BUILDING B

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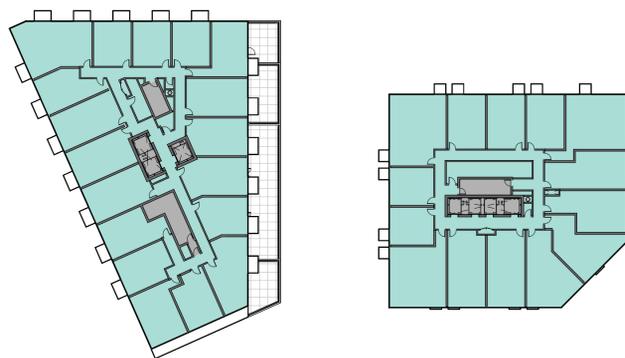
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GROSS FLOOR AREA

■ DEDUCTION AREA
■ GROSS FLOOR AREA

LEVEL 04 : AREA DIAGRAM 6



GROSS FLOOR AREA

■ DEDUCTION AREA
■ GROSS FLOOR AREA

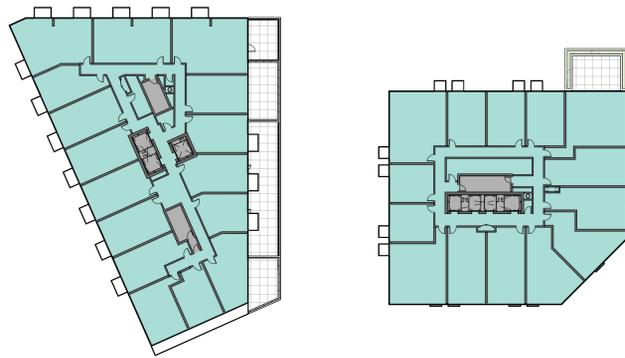
LEVEL 02 : AREA DIAGRAM 4



GROSS FLOOR AREA

■ DEDUCTION AREA
■ GROSS FLOOR AREA

LEVEL P1 : AREA DIAGRAM 2



GROSS FLOOR AREA

■ DEDUCTION AREA
■ GROSS FLOOR AREA

LEVEL 03: AREA DIAGRAM 5



GROSS FLOOR AREA

■ DEDUCTION AREA
■ GROSS FLOOR AREA

LEVEL 01 : AREA DIAGRAM 3



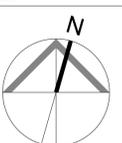
GROSS FLOOR AREA

■ DEDUCTION AREA
■ GROSS FLOOR AREA

LEVEL P2 : AREA DIAGRAM 1

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AREA DIAGRAMS

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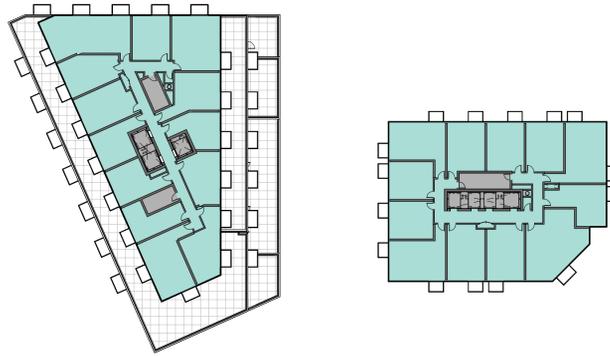
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GROSS FLOOR AREA

- DEDUCTION AREA
- GROSS FLOOR AREA

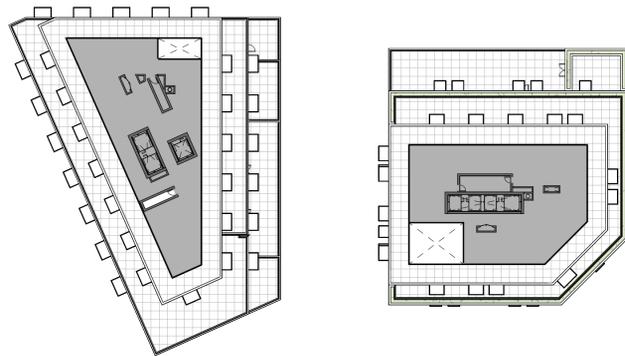


GROSS FLOOR AREA

- DEDUCTION AREA
- GROSS FLOOR AREA

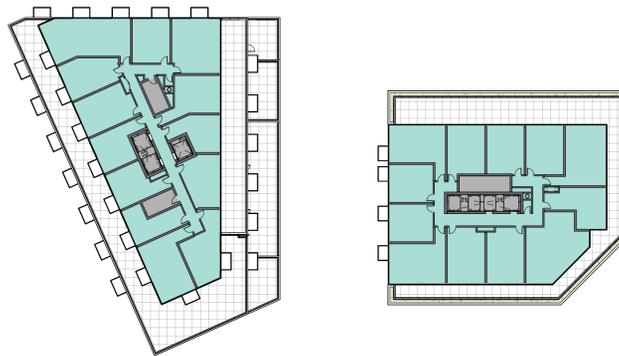
LEVEL 08- LEVEL 37 : AREA DIAGRAM 4

LEVEL 06 : AREA DIAGRAM 2



GROSS FLOOR AREA

- DEDUCTION AREA



GROSS FLOOR AREA

- DEDUCTION AREA
- GROSS FLOOR AREA



GROSS FLOOR AREA

- DEDUCTION AREA
- GROSS FLOOR AREA

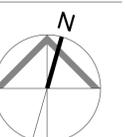
MECHANICAL PENTHOUSE : AREA DIAGRAM 5

LEVEL 07 : AREA DIAGRAM 3

LEVEL 05 : AREA DIAGRAM 1

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Project

1050 Markham Road

1050 Markham Road,
 Toronto, Ontario, M1H 2Y5

Client

CAPREIT

Drawing Title

AREA DIAGRAMS

1 : 500 Scale

Drawn by

Checked by

23-11 Project No.

2024-06-07 Date

Drawing No.

A1.21

Plot Color: 2024-06-07 4:18:20 PM File Path: Y:\08 Temporary Files\Revit\Default\Plot\Amenity\33-11_1035 Markham Road_Amenity.dwg

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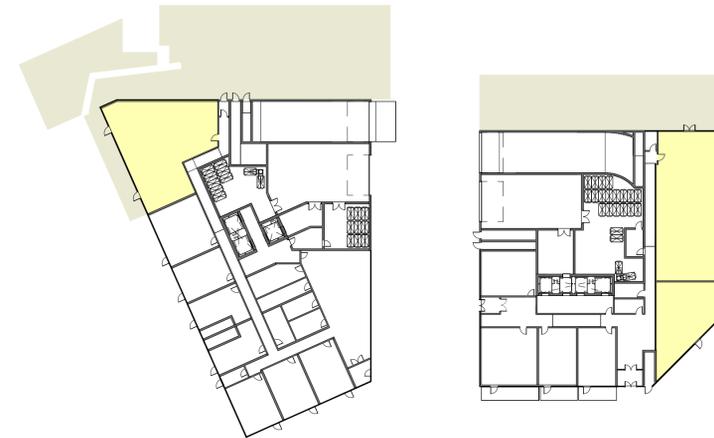
No	Issued For	Date
1	Issued for ZBA	2024-06-07



AMENITY AREA LEGEND

- INDOOR AMENITY
- OUTDOOR AMENITY

LEVEL 02 : AREA DIAGRAM 2



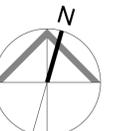
AMENITY AREA LEGEND

- INDOOR AMENITY
- OUTDOOR AMENITY

LEVEL 01 : AREA DIAGRAM 1

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AMENITY DIAGRAMS

1 : 500 Scale

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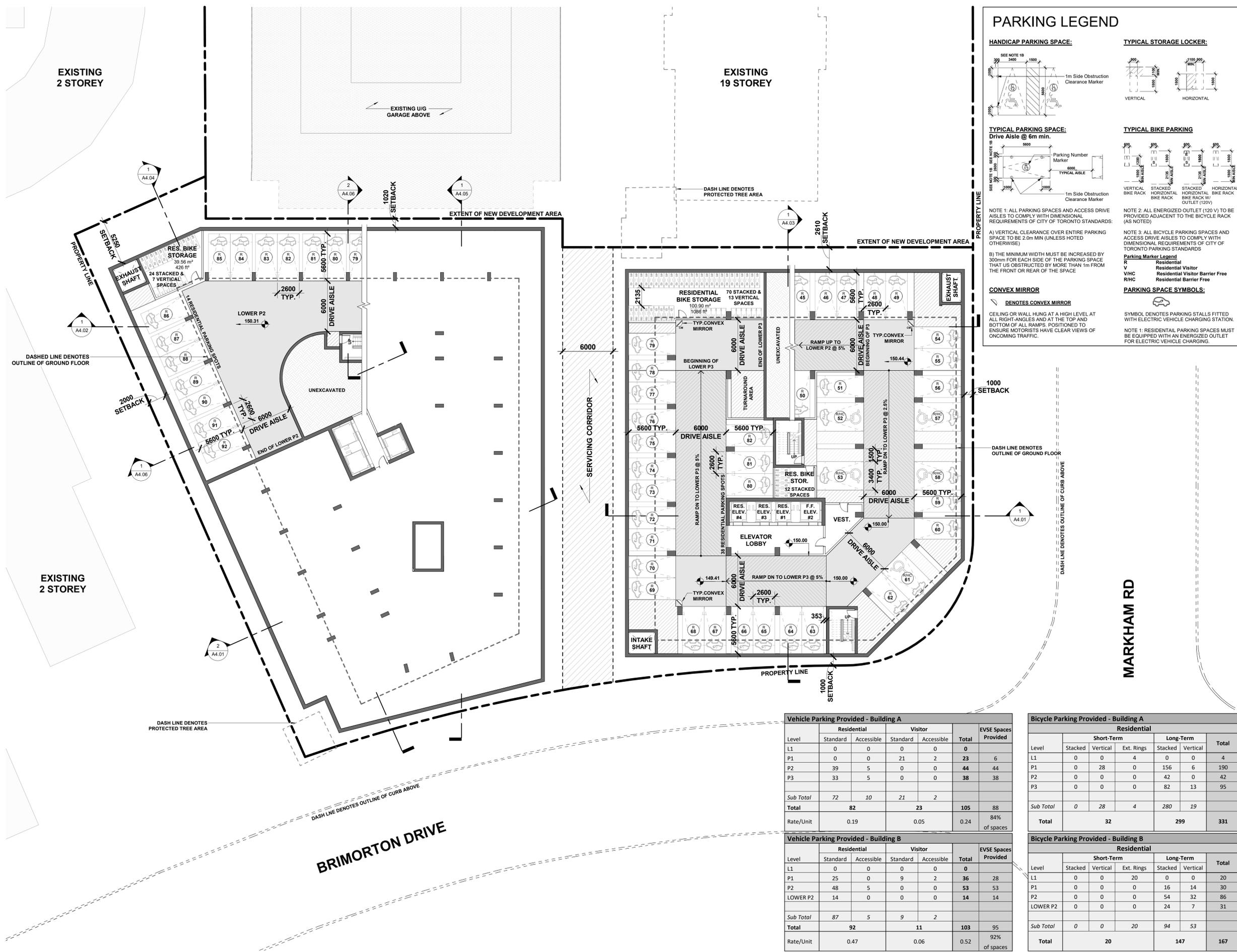
23-11 Project No.

2024-06-07 Date

Drawing No.

A1.22

Plot Date: 2024-06-07 4:18:24 PM File Path: Y:\08 Temporary Files\Drawings\Drawings\1005 Markham Road\1005.dwg User: RUDY.P.WALLMAN



PARKING LEGEND

HANDICAP PARKING SPACE:

TYPICAL STORAGE LOCKER:

TYPICAL BIKE PARKING:

TYPICAL PARKING SPACE:

NOTE 1: ALL PARKING SPACES AND ACCESS DRIVE AISLES TO COMPLY WITH DIMENSIONAL REQUIREMENTS OF CITY OF TORONTO STANDARDS.

NOTE 2: ALL ENERGIZED OUTLET (120 V) TO BE PROVIDED ADJACENT TO THE BICYCLE RACK (AS NOTED).

NOTE 3: ALL BICYCLE PARKING SPACES AND ACCESS DRIVE AISLES TO COMPLY WITH DIMENSIONAL REQUIREMENTS OF CITY OF TORONTO PARKING STANDARDS.

Parking Marker Legend:
 R Residential
 V Residential Visitor
 V/HC Residential Visitor Barrier Free
 R/HC Residential Barrier Free

PARKING SPACE SYMBOLS:

NOTE 1: RESIDENTIAL PARKING SPACES MUST BE EQUIPPED WITH AN ENERGIZED OUTLET FOR ELECTRIC VEHICLE CHARGING.

CONVEX MIRROR:

CEILING OR WALL HUNG AT A HIGH LEVEL AT ALL RIGHT ANGLES AND AT THE TOP AND BOTTOM OF ALL RAMP, POSITIONED TO ENSURE MOTORISTS HAVE CLEAR VIEWS OF ONCOMING TRAFFIC.

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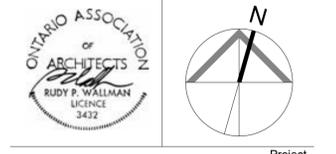
Level	Residential		Visitor		Total	EVSE Spaces Provided
	Standard	Accessible	Standard	Accessible		
L1	0	0	0	0	0	0
P1	0	0	21	2	23	6
P2	39	5	0	0	44	44
P3	33	5	0	0	38	38
Sub Total	72	10	21	2		
Total	82		23		105	88
Rate/Unit	0.19		0.05		0.24	84% of spaces

Level	Residential		Visitor		Total	EVSE Spaces Provided
	Standard	Accessible	Standard	Accessible		
L1	0	0	0	0	0	0
P1	25	0	9	2	36	28
P2	48	5	0	0	53	53
LOWER P2	14	0	0	0	14	14
Sub Total	87	5	9	2		
Total	92		11		103	95
Rate/Unit	0.47		0.06		0.52	92% of spaces

Level	Residential				Total	
	Short-Term		Long-Term			
	Stacked	Vertical	Ext. Rings	Stacked	Vertical	
L1	0	0	4	0	0	4
P1	0	28	0	156	6	190
P2	0	0	0	42	0	42
P3	0	0	0	82	13	95
Sub Total	0	28	4	280	19	
Total	32		299		331	

Level	Residential				Total	
	Short-Term		Long-Term			
	Stacked	Vertical	Ext. Rings	Stacked	Vertical	
L1	0	0	20	0	0	20
P1	0	0	0	16	14	30
P2	0	0	0	54	32	86
LOWER P2	0	0	0	24	7	31
Sub Total	0	0	20	94	53	
Total	20		147		167	

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Project
1050 Markham Road
 1050 Markham Road,
 Toronto, Ontario, M1H 2Y5
 Client

Client
CAPREIT
 Drawing Title

LOWER P2 & P3 PARKING LEVEL

Scale
 1:200

Drawn by

Checked by

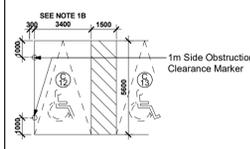
Project No.
 23-11

Date
 2024-06-07

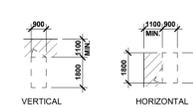
Drawing No.
A2.01

PARKING LEGEND

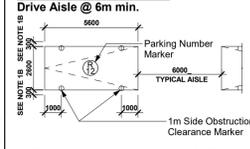
HANDICAP PARKING SPACE:



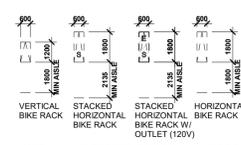
TYPICAL STORAGE LOCKER:



TYPICAL PARKING SPACE:



TYPICAL BIKE PARKING:



NOTE 1: ALL PARKING SPACES AND ACCESS DRIVE AISLES TO COMPLY WITH DIMENSIONAL REQUIREMENTS OF CITY OF TORONTO STANDARDS.

NOTE 2: ALL ENERGIZED OUTLET (120 V) TO BE PROVIDED ADJACENT TO THE BICYCLE RACK (AS NOTED)

CONVEX MIRROR

CEILING OR WALL HUNG AT A HIGH LEVEL AT ALL RIGHT-ANGLES AND AT THE TOP AND BOTTOM OF ALL RAMP, POSITIONED TO ENSURE MOTORISTS HAVE CLEAR VIEWS OF ONCOMING TRAFFIC.

NOTE 3: ALL BICYCLE PARKING SPACES AND ACCESS DRIVE AISLES TO COMPLY WITH DIMENSIONAL REQUIREMENTS OF CITY OF TORONTO PARKING STANDARDS

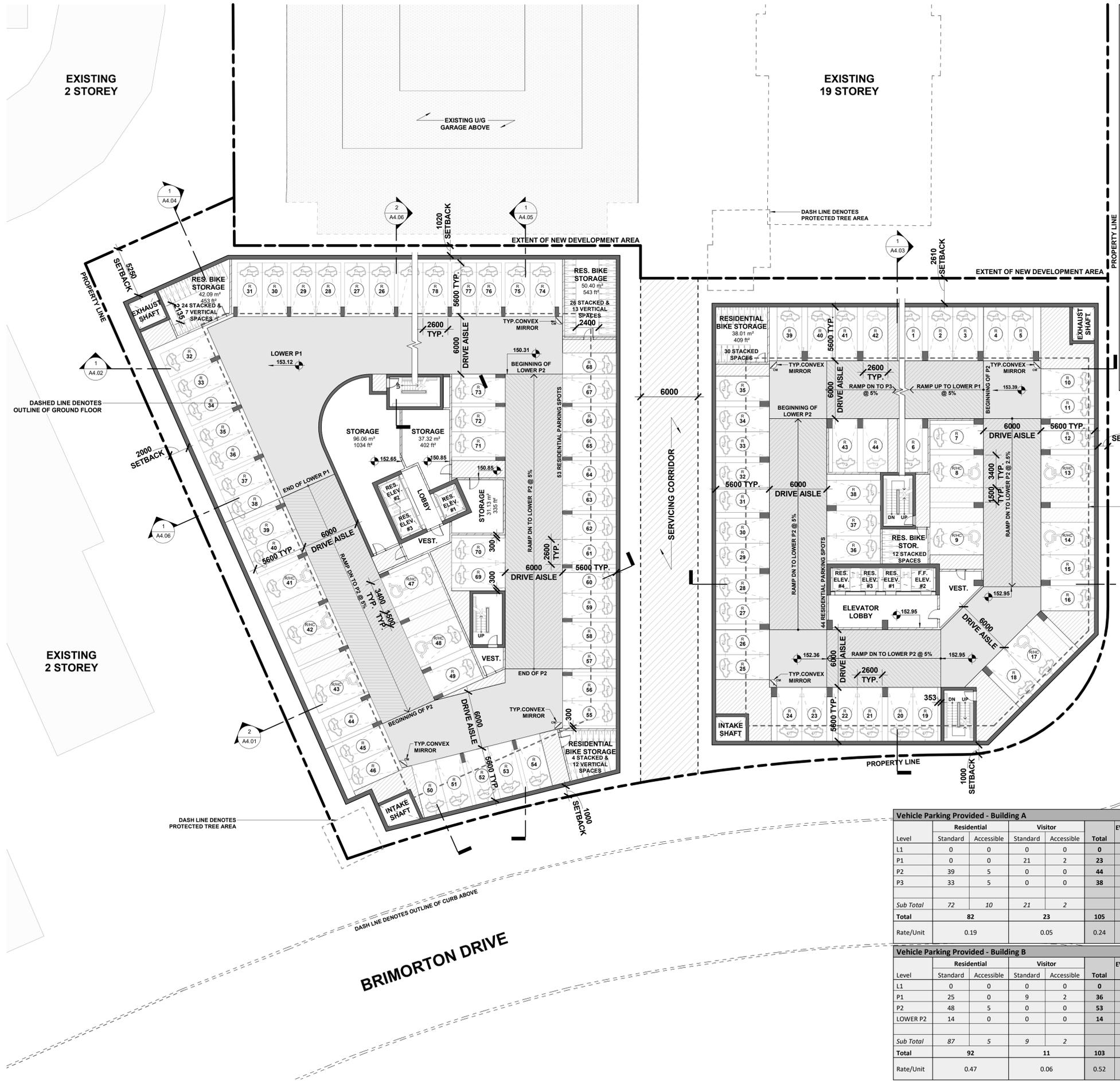
Parking Marker Legend
 R Residential
 V Residential Visitor
 VHC Residential Visitor Barrier Free
 RHC Residential Barrier Free

PARKING SPACE SYMBOLS:

SYMBOL DENOTES PARKING STALLS FITTED WITH ELECTRIC VEHICLE CHARGING STATION.
 NOTE 1: RESIDENTIAL PARKING SPACES MUST BE EQUIPPED WITH AN ENERGIZED OUTLET FOR ELECTRIC VEHICLE CHARGING.

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Level	Residential		Visitor		Total	EVSE Spaces Provided
	Standard	Accessible	Standard	Accessible		
L1	0	0	0	0	0	0
P1	0	0	21	2	23	6
P2	39	5	0	0	44	44
P3	33	5	0	0	38	38
Sub Total	72	10	21	2		
Total	82		23		105	88
Rate/Unit	0.19		0.05		0.24	84% of spaces

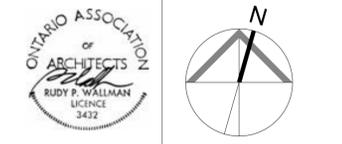
Level	Residential		Visitor		Total	EVSE Spaces Provided
	Standard	Accessible	Standard	Accessible		
L1	0	0	0	0	0	0
P1	25	0	9	2	36	28
P2	48	5	0	0	53	53
LOWER P2	14	0	0	0	14	14
Sub Total	87	5	9	2		
Total	92		11		103	95
Rate/Unit	0.47		0.06		0.52	92% of spaces

Level	Residential				Total	
	Short-Term		Long-Term			
	Stacked	Vertical	Ext. Rings	Stacked	Vertical	
L1	0	0	4	0	0	4
P1	0	28	0	156	6	190
P2	0	0	0	42	0	42
P3	0	0	0	82	13	95
Sub Total	0	28	4	280	19	
Total	32			299		331

Level	Residential				Total	
	Short-Term		Long-Term			
	Stacked	Vertical	Ext. Rings	Stacked	Vertical	
L1	0	0	20	0	0	20
P1	0	0	0	16	14	30
P2	0	0	0	54	32	86
LOWER P2	0	0	0	24	7	31
Sub Total	0	0	20	94	53	
Total	20			147		167

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CAPREIT

PARKING LEVEL 2

1:200 Scale

Drawn by

Checked by

23-11 Project No.

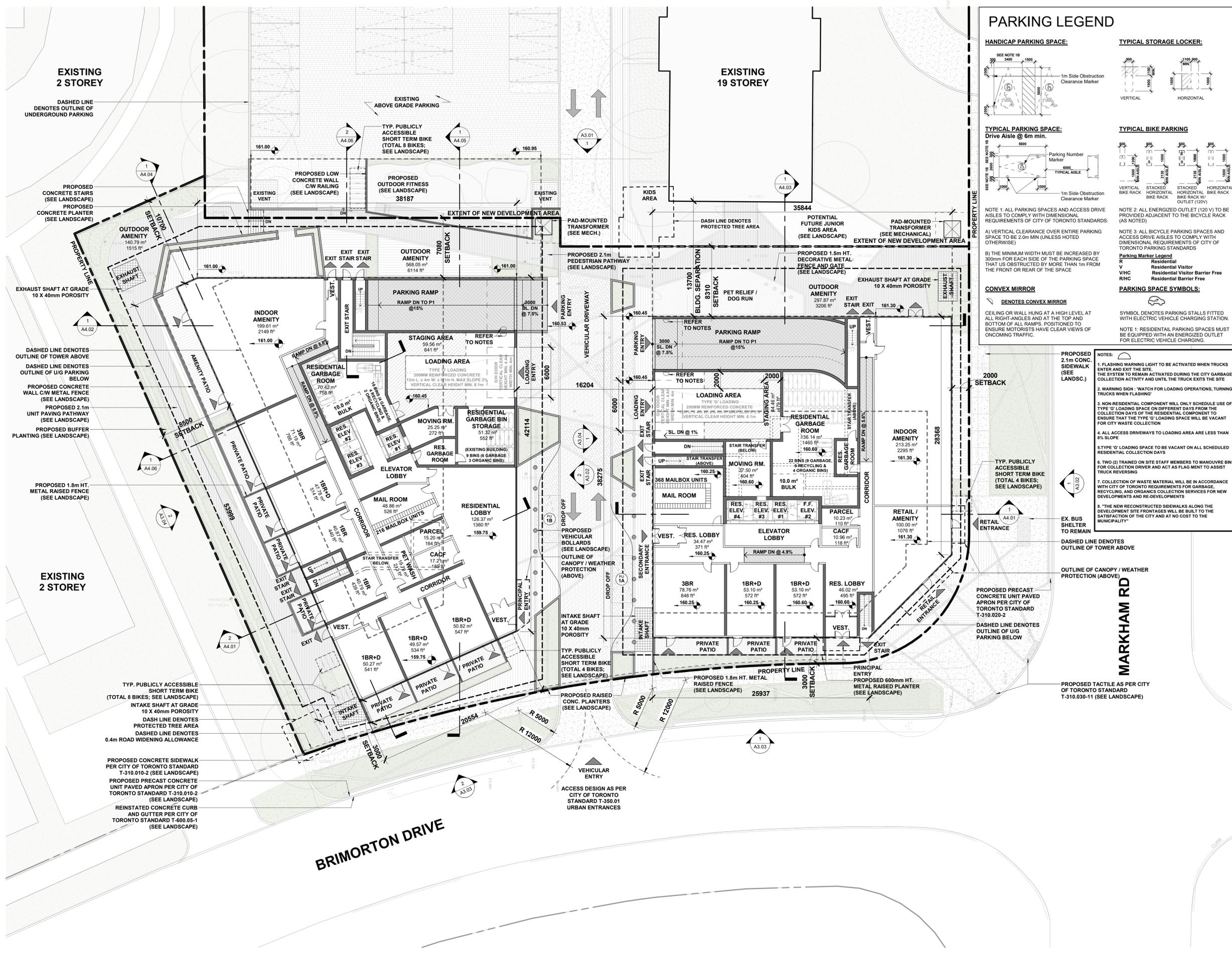
2024-06-07 Date

A2.02 Drawing No.

A2.02

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PARKING LEGEND

HANDICAP PARKING SPACE:

SEE NOTE 1B
1500
2000
1500
1m Side Obstruction Clearance Marker

TYPICAL STORAGE LOCKER:

VERTICAL HORIZONTAL

TYPICAL PARKING SPACE:

Drive Aisle @ 6m min.

SEE NOTE 1B
5000
6000
6000
1m Side Obstruction Clearance Marker

TYPICAL BIKE PARKING:

VERTICAL STACKED HORIZONTAL STACKED HORIZONTAL BIKE RACK W/ OUTLET (20V)

NOTES:

NOTE 1: ALL PARKING SPACES AND ACCESS DRIVE AISLES TO COMPLY WITH DIMENSIONAL REQUIREMENTS OF CITY OF TORONTO STANDARDS.

A) VERTICAL CLEARANCE OVER ENTIRE PARKING SPACE TO BE 2.0m MIN (UNLESS NOTED OTHERWISE)

B) THE MINIMUM WIDTH MUST BE INCREASED BY 300mm FOR EACH SIDE OF THE PARKING SPACE THAT IS OBSTRUCTED BY MORE THAN 1m FROM THE FRONT OR REAR OF THE SPACE

CONVEX MIRROR

CEILING OR WALL HUNG AT A HIGH LEVEL AT ALL RIGHT ANGLES AND AT THE TOP AND BOTTOM OF ALL RAMPS, POSITIONED TO ENSURE MOTORISTS HAVE CLEAR VIEWS OF ONCOMING TRAFFIC.

PARKING MARKER LEGEND

R Residential
V Residential Visitor
VHC Residential Visitor Barrier Free
RHC Residential Barrier Free

PARKING SPACE SYMBOLS:

SYMBOL DENOTES PARKING SPACES FITTED WITH ELECTRIC VEHICLE CHARGING STATION.

NOTE 1: RESIDENTIAL PARKING SPACES MUST BE EQUIPPED WITH AN ENERGIZED OUTLET FOR ELECTRIC VEHICLE CHARGING.

NOTES:

1. FLASHING WARNING LIGHT TO BE ACTIVATED WHEN TRUCKS ENTER AND EXIT THE SITE. THE SYSTEM TO REMAIN ACTIVATED DURING THE CITY GARBAGE COLLECTION ACTIVITY AND UNTIL THE TRUCK EXITS THE SITE

2. WARNING SIGN: "WATCH FOR LOADING OPERATIONS, TURNING TRUCKS WHEN FLASHING"

3. NON-RESIDENTIAL COMPONENT WILL ONLY SCHEDULE USE OF TYPE 'Q' LOADING SPACE ON DIFFERENT DAYS FROM THE COLLECTION DAYS OF THE RESIDENTIAL COMPONENT TO ENSURE THAT THE TYPE 'Q' LOADING SPACE WILL BE VACANT FOR CITY WASTE COLLECTION

4. ALL ACCESS DRIVEWAYS TO LOADING AREA ARE LESS THAN 8% SLOPE

5. TYPE 'Q' LOADING SPACE TO BE VACANT ON ALL SCHEDULED RESIDENTIAL COLLECTION DAYS

6. TWO (2) TRAINED ON SITE STAFF MEMBERS TO MANOUEVRE BINS FOR COLLECTION DRIVER AND ACT AS FLAGMENT TO ASSIST TRUCK REVERSING

7. COLLECTION OF WASTE MATERIAL WILL BE IN ACCORDANCE WITH CITY OF TORONTO REQUIREMENTS FOR GARBAGE, RECYCLING, AND ORGANICS COLLECTION SERVICES FOR NEW DEVELOPMENTS AND RE-DEVELOPMENTS

8. "THE NEW RECONSTRUCTED SIDEWALKS ALONG THE DEVELOPMENT SITE FRONTAGES WILL BE BUILT TO THE SATISFACTION OF THE CITY AND AT NO COST TO THE MUNICIPALITY"

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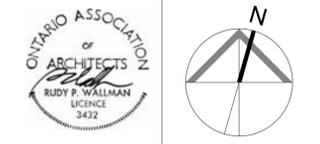
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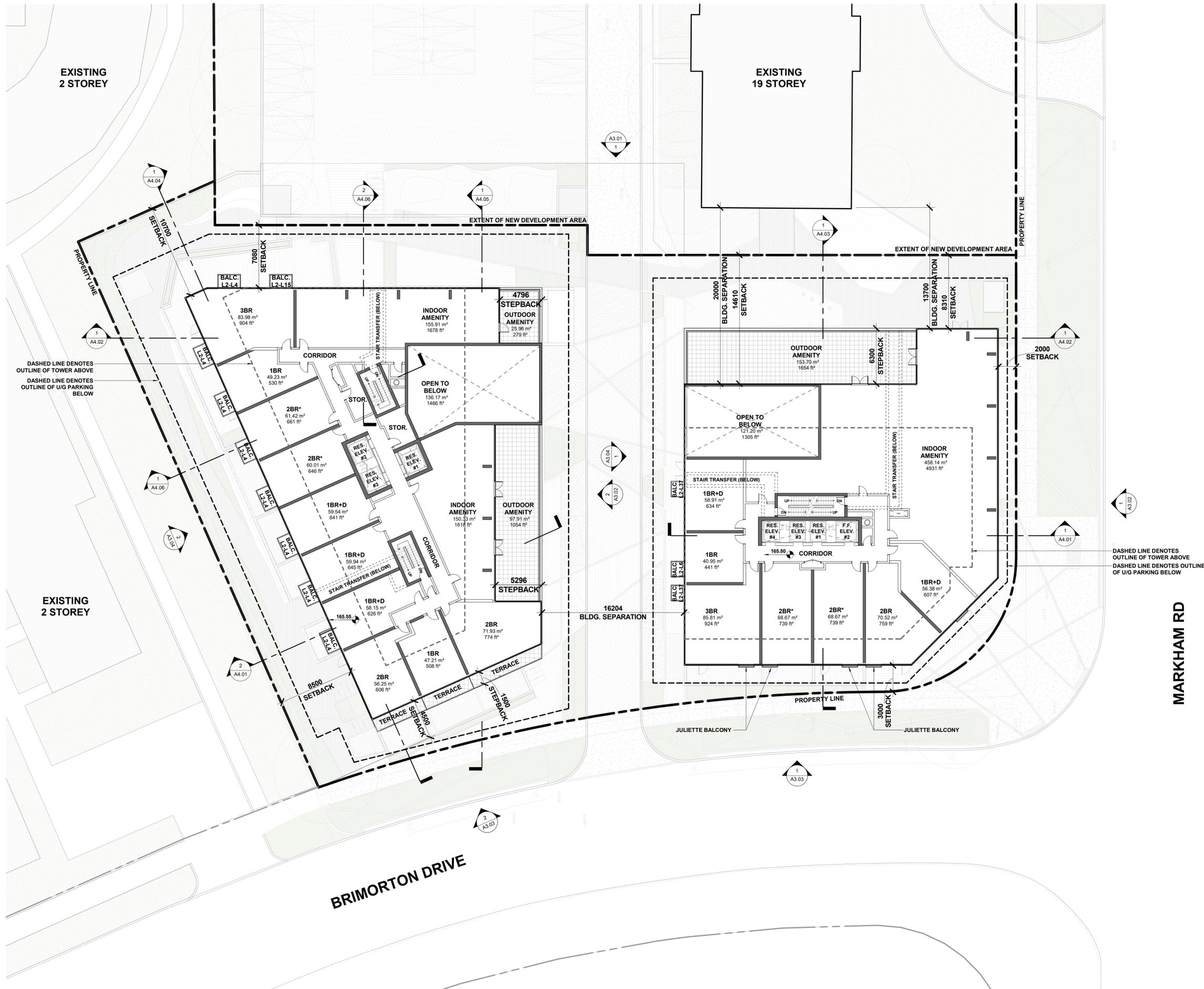
Project
 1050 Markham Road
 1050 Markham Road,
 Toronto, Ontario, M1H 2Y5
 Client

Client
 CAPREIT

Drawing Title
LEVEL 1 FLOOR PLAN

Scale	Drawn by	Checked by	Project No.	Date	Drawing No.
1:200			23-11	2024-06-07	A2.04

A2.04



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Client
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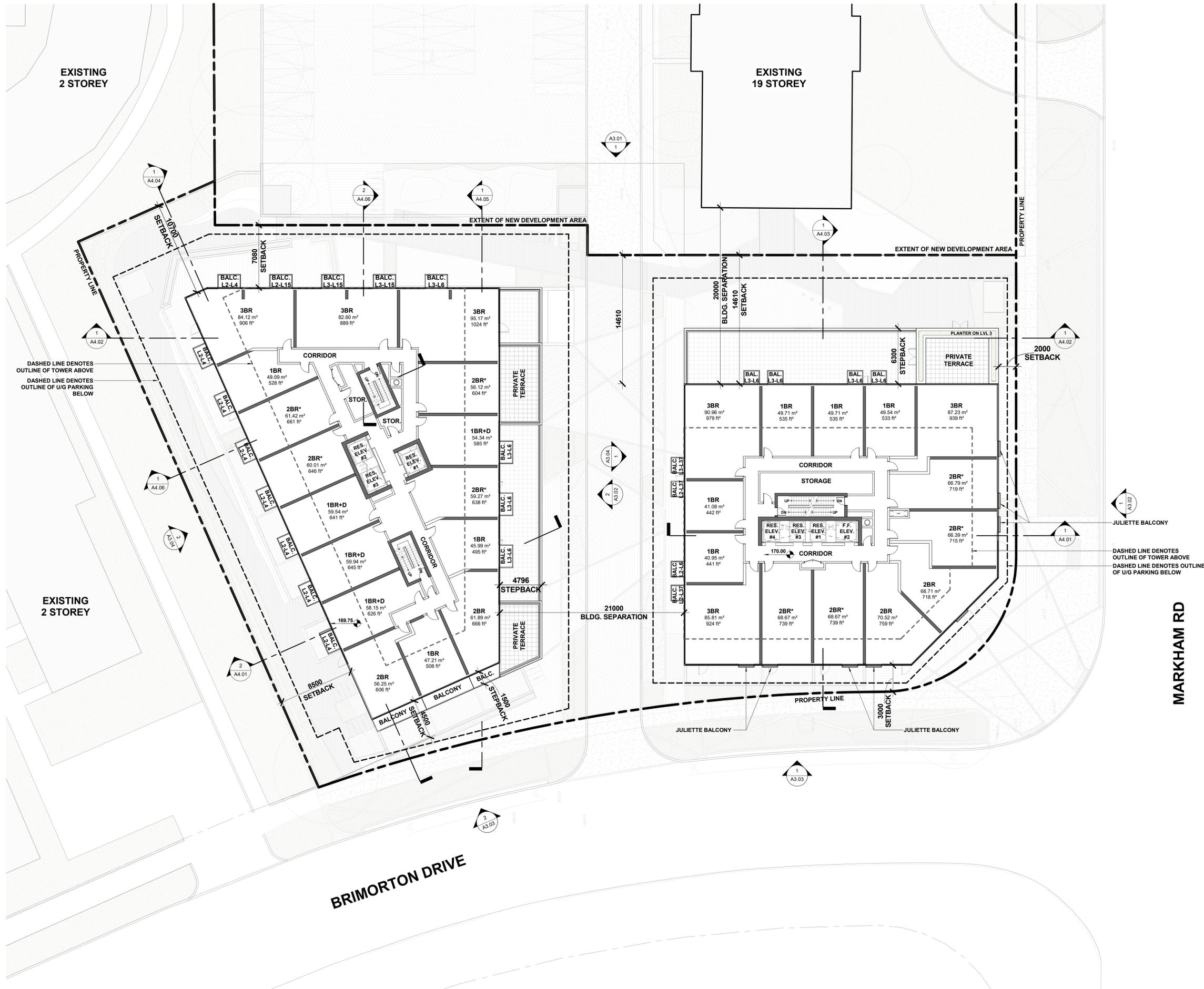
Drawing Title

LEVEL 2 FLOOR PLAN

1 : 200	Scale
	Drawn by
	Checked by
23-11	Project No.
2024-06-07	Date
	Drawing No.

A2.05

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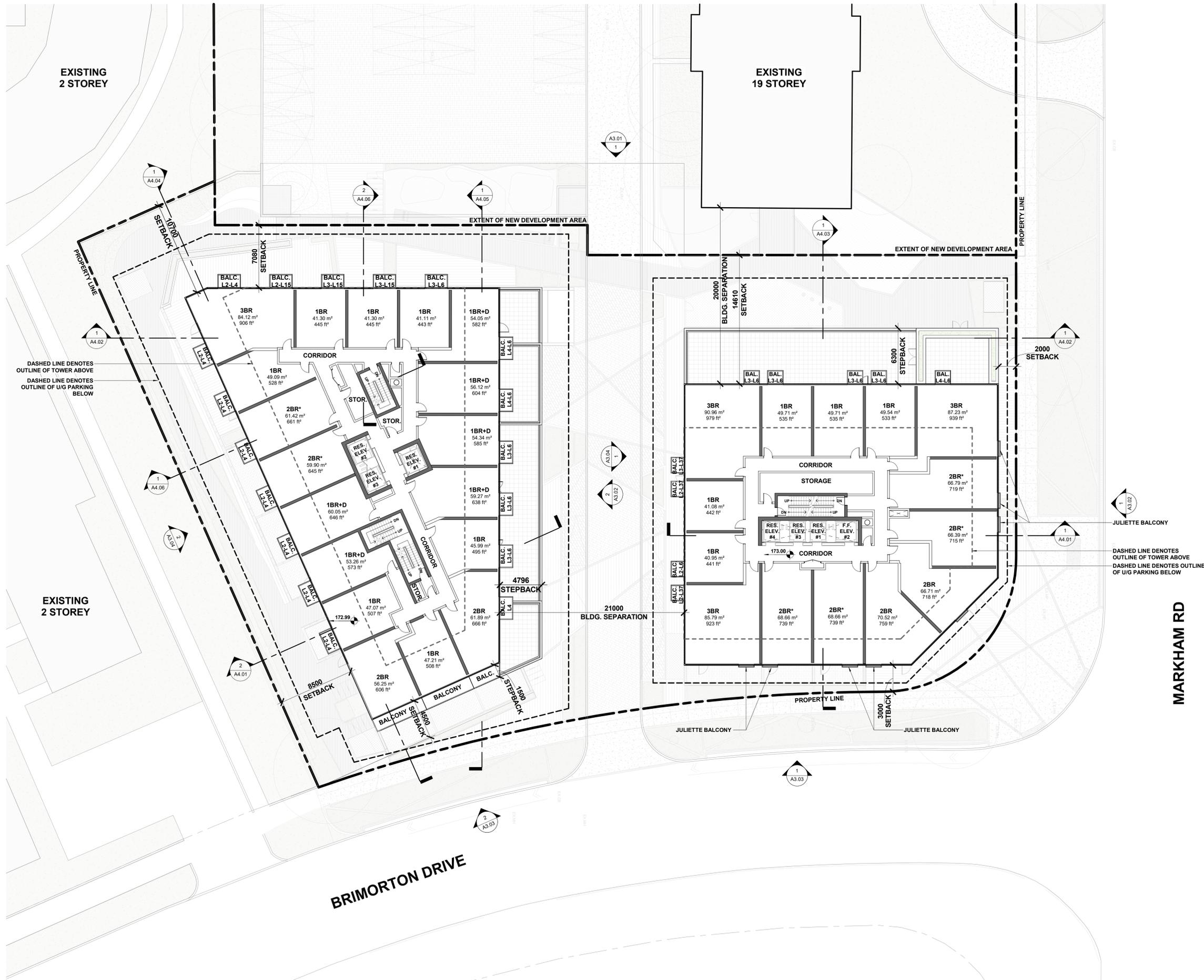
Drawing Title

LEVEL 3 FLOOR PLAN

1 : 200	Scale
	Drawn by
	Checked by
23-11	Project No.
2024-06-07	Date
	Drawing No.

A2.08

Plot Date: 2024-06-07 4:18:45 PM File Path: Y:\08 Temporary Files\Draw\Detail\Print\Level\3-1_1050 Markham Road_20240607.rvt



DASHED LINE DENOTES
OUTLINE OF TOWER ABOVE
DASHED LINE DENOTES
OUTLINE OF U/G PARKING BELOW

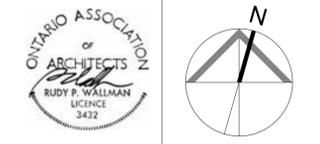
DASHED LINE DENOTES
OUTLINE OF TOWER ABOVE
DASHED LINE DENOTES OUTLINE
OF U/G PARKING BELOW

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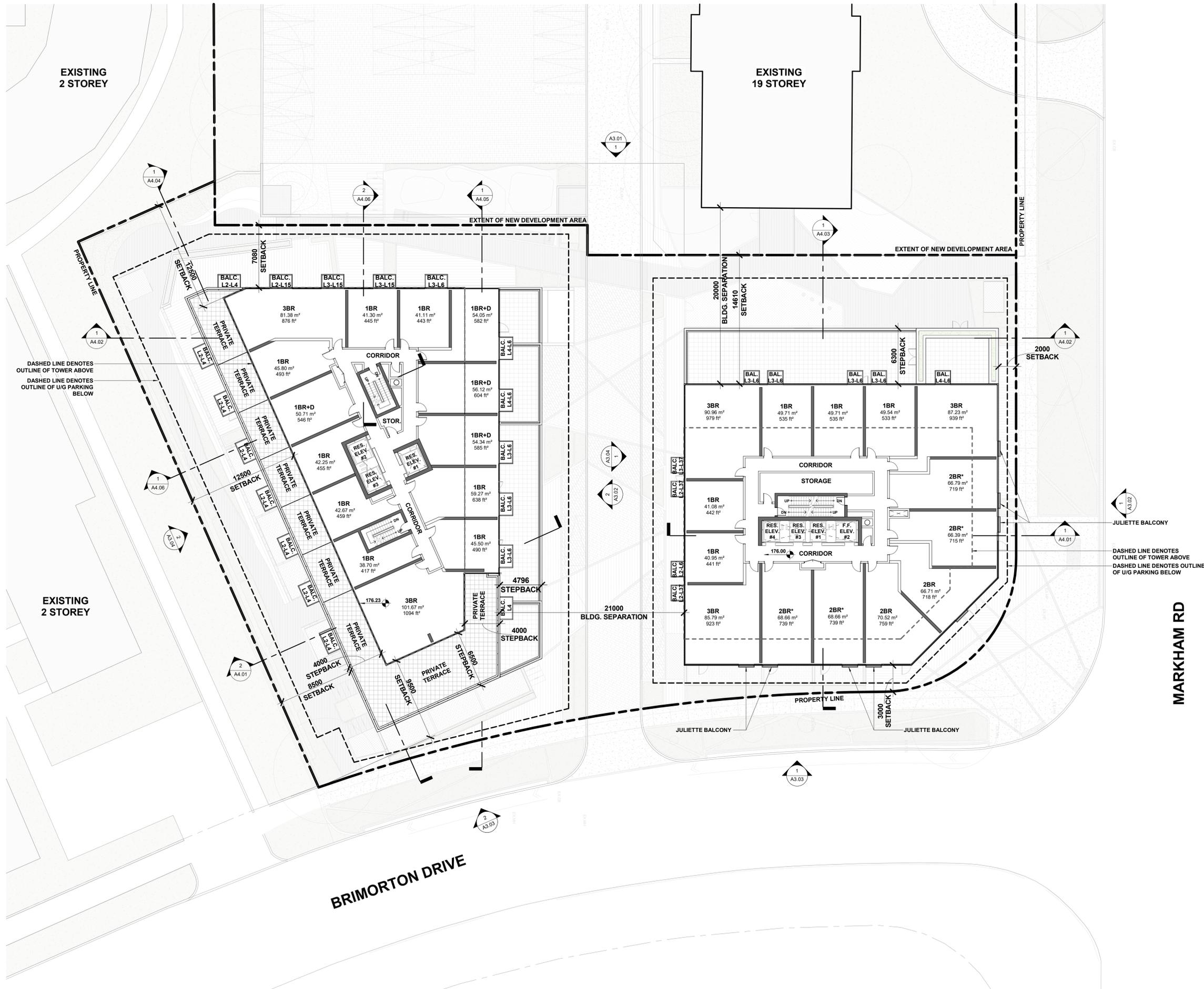
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Drawing Title

LEVEL 4 FLOOR PLAN

1 : 200	Scale
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	Checked by
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2024-06-07	Date
A2.09	Drawing No.

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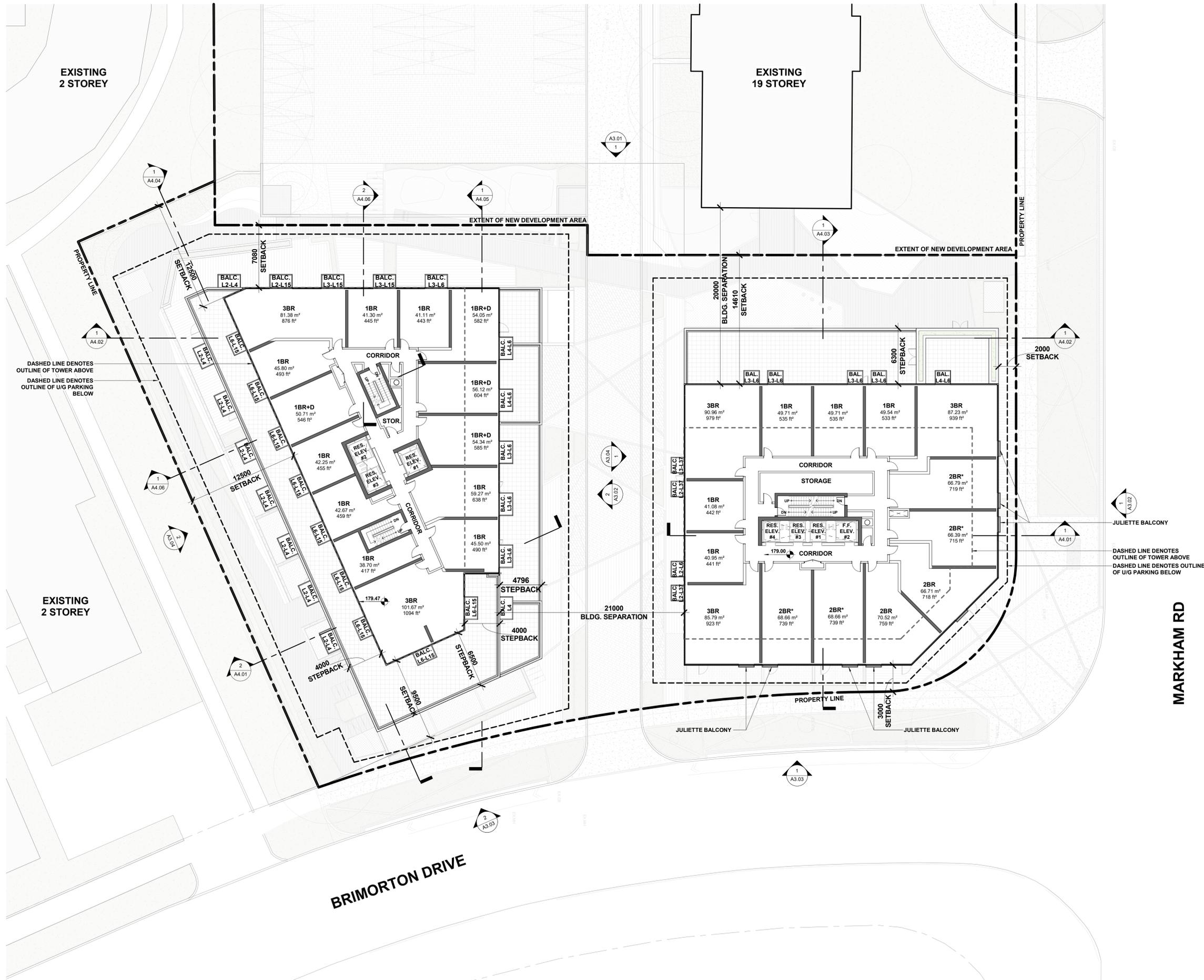
Client
CAPREIT
Drawing Title

LEVEL 5 FLOOR PLAN

1 : 200	Scale
	Drawn by
	Checked by
23-11	Project No.
2024-06-07	Date
	Drawing No.

A2.10

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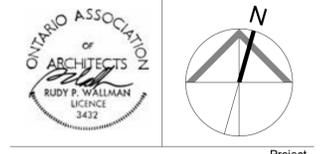
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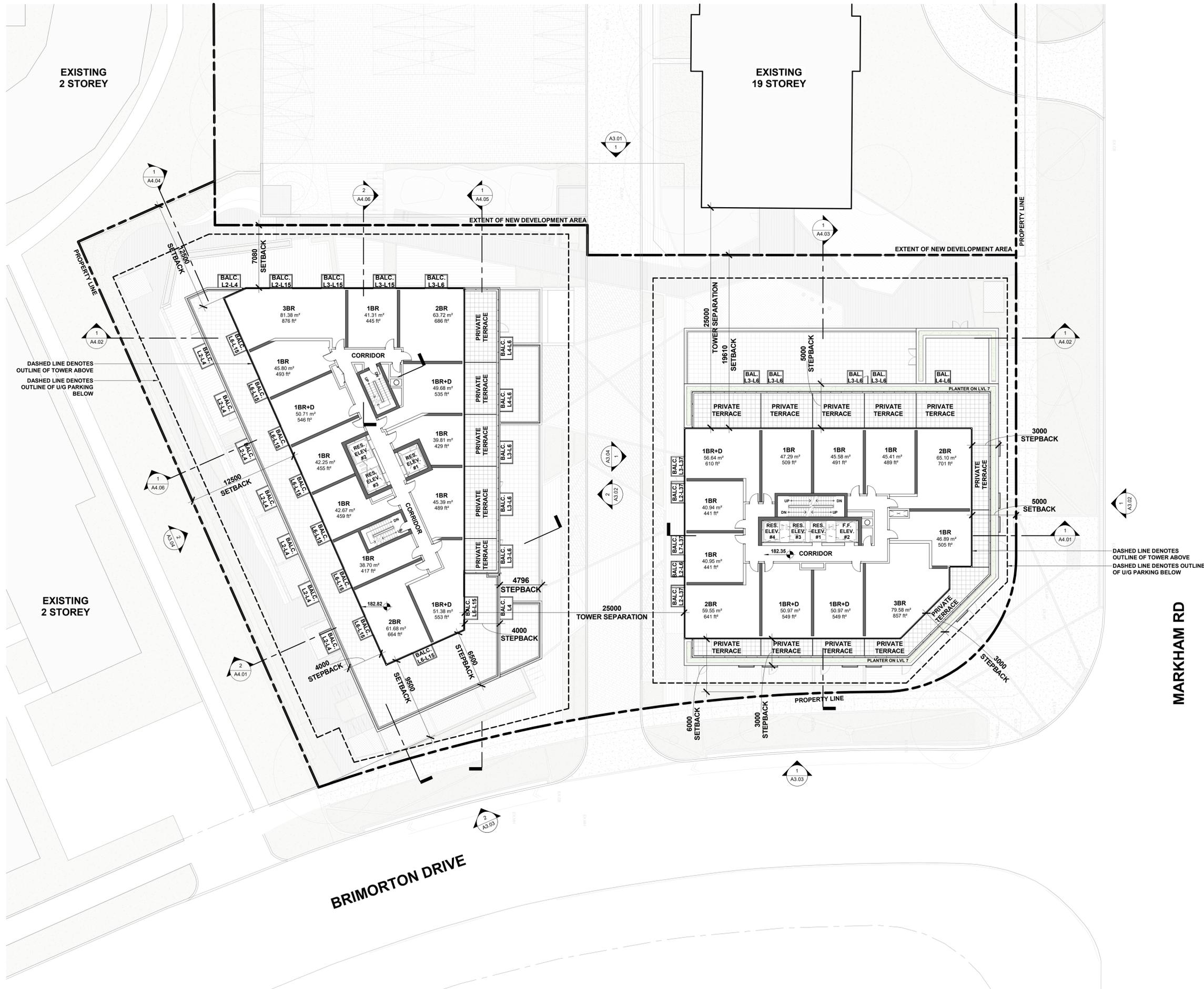
Client
CAPREIT
Drawing Title

LEVEL 6 FLOOR PLAN

1 : 200	Scale
	Drawn by
	Checked by
23-11	Project No.
2024-06-07	Date
	Drawing No.

A2.11

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DASHED LINE DENOTES OUTLINE OF U/G PARKING BELOW

DASHED LINE DENOTES OUTLINE OF TOWER ABOVE
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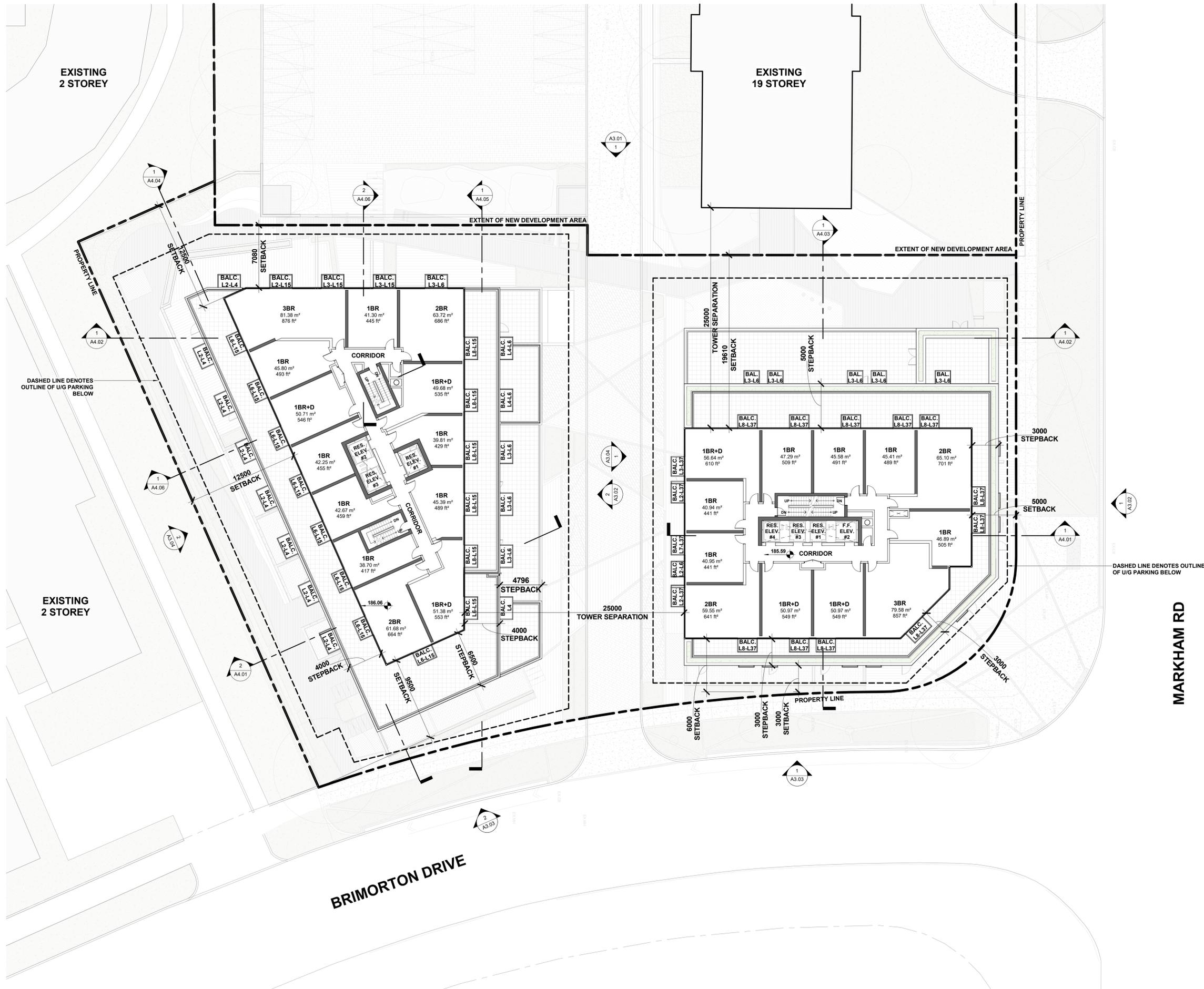
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CAPREIT
Drawing Title

LEVEL 7 FLOOR PLAN

1 : 200	Scale
	Drawn by
	Checked by
23-11	Project No.
2024-06-07	Date
	Drawing No.

A2.12

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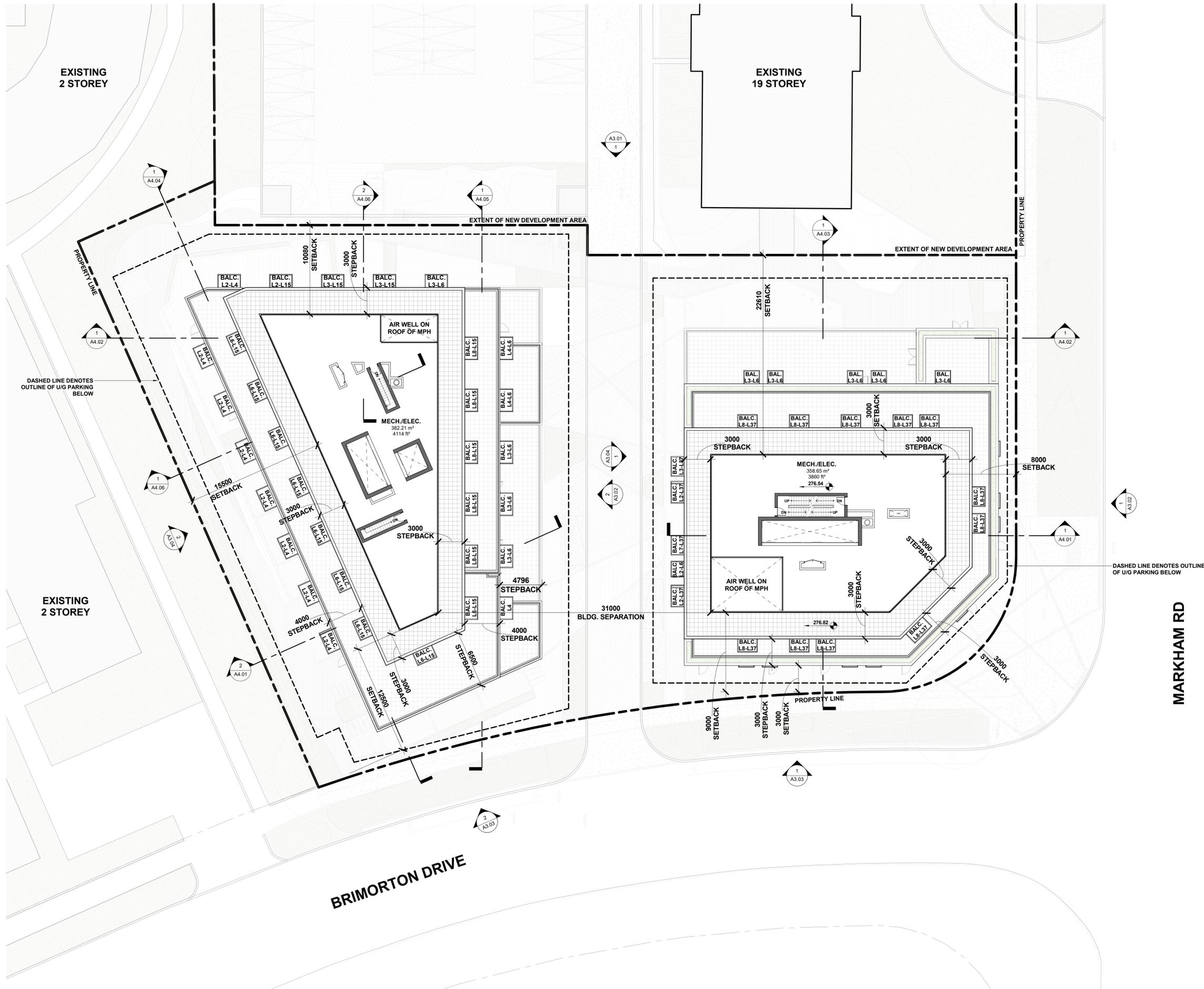
Project
 1050 Markham Road
 1050 Markham Road,
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CAPREIT
 Drawing Title

**OVERALL TYPICAL
 TOWER FLOOR PLAN**
 BUILDING 'A' - FLOORS 8 - 37
 BUILDING 'B' - FLOORS 8 - 15
 1 : 200 Scale
 Drawn by
 Checked by
 Project No.
 23-11
 Date
 2024-06-07
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A2.13

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MECHANICAL PENTHOUSE

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	Drawn by
	Checked by
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2024-06-07	Date
	Drawing No.

A2.14

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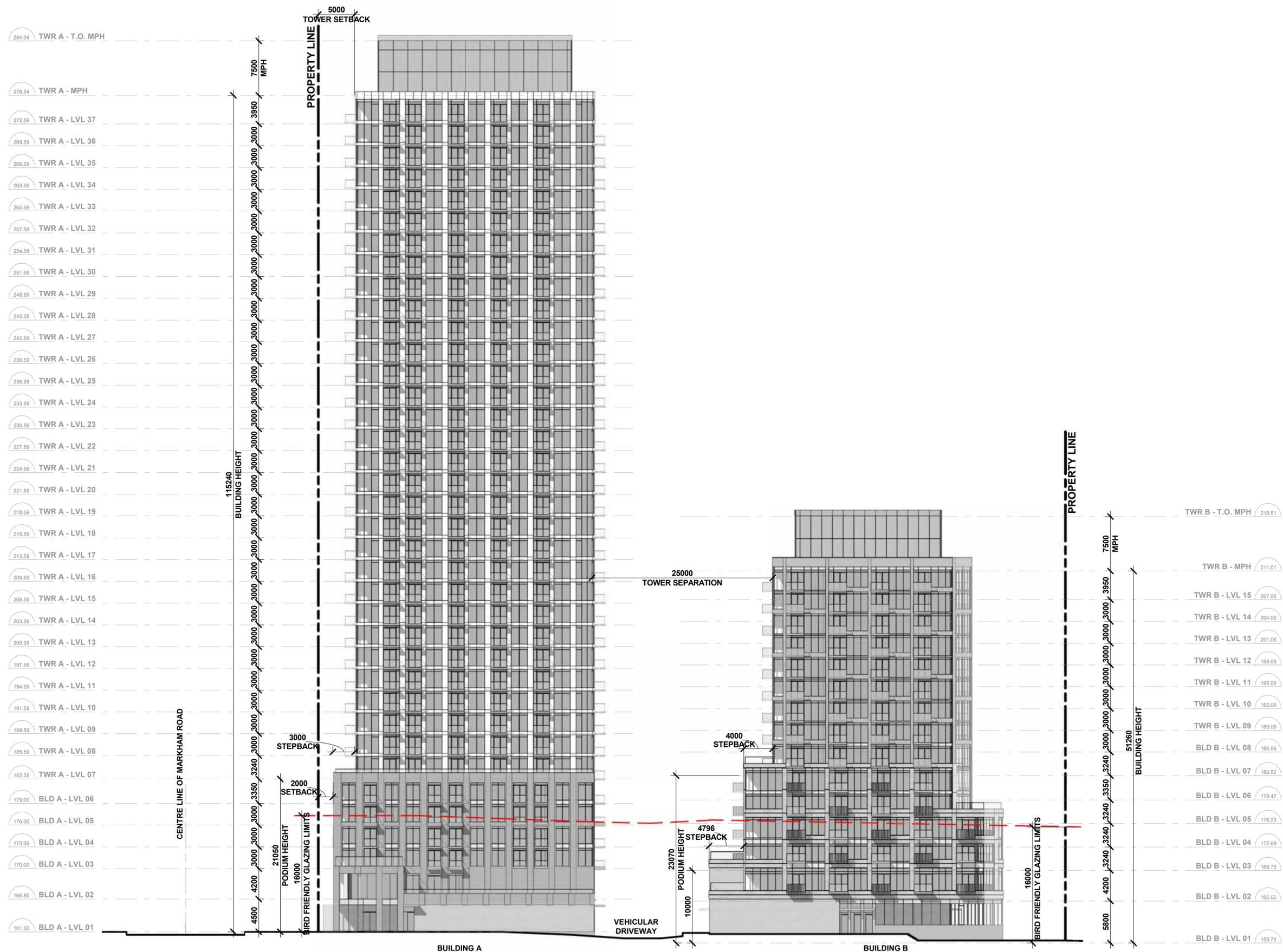
Project
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CAPREIT
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NORTH ELEVATIONS

Scale
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 Drawn by
 Checked by
 Project No.
 23-11
 Date
 2024-06-07
 Drawing No.

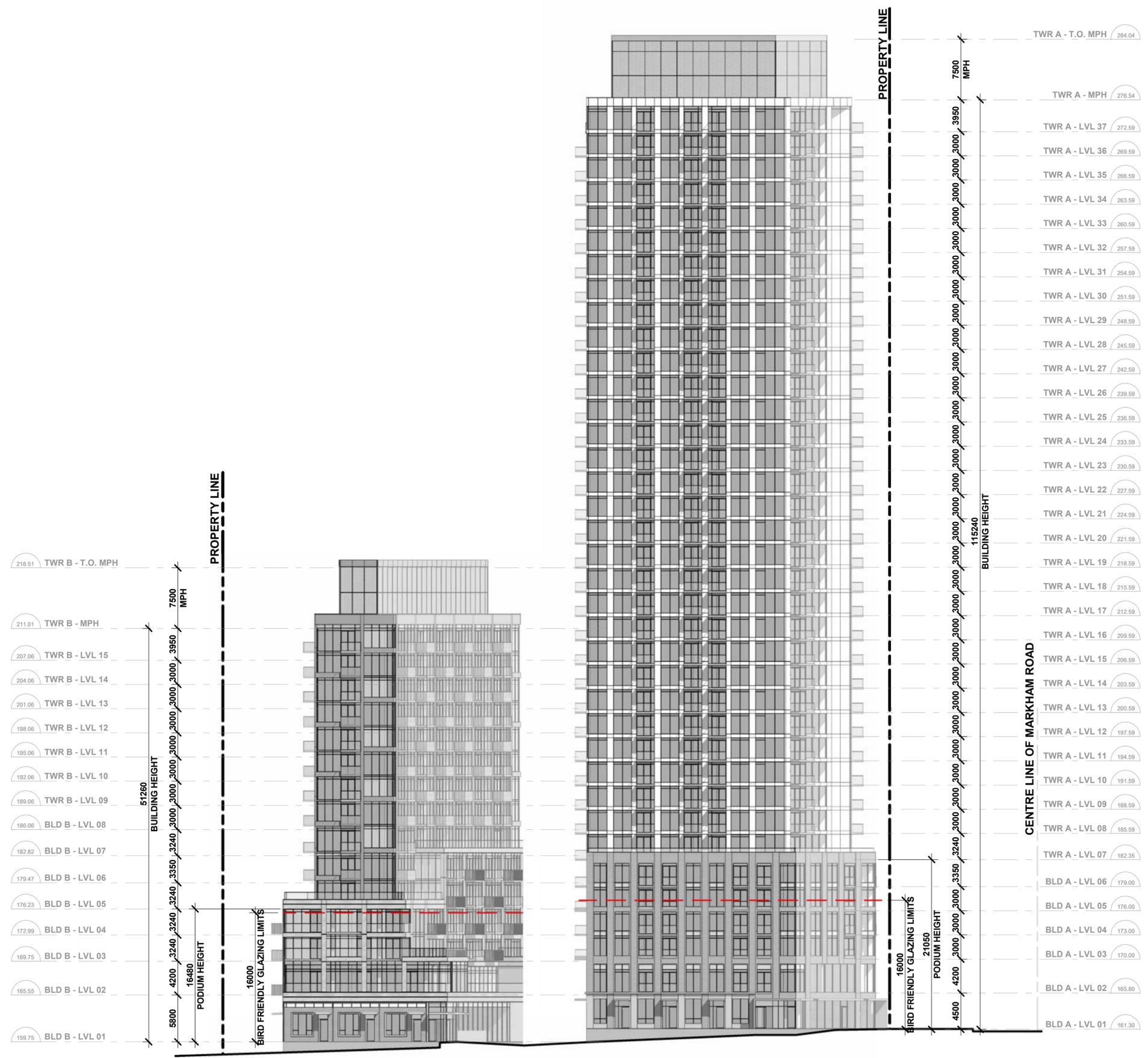
A3.01



1 NORTH ELEVATIONS
 A3.01 Scale: 1 : 250

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Plot Date: 2024-06-07 4:19:51 PM File Path: Y:\08 Temporary Files\Drawings\Detail\Plot\A3.03-11_1025 Markham Road_03.dwg User: rwallman



2
A3.03 SOUTH ELEVATION - BUILDING B
Scale: 1 : 250

1
A3.03 SOUTH ELEVATION BUILDING A
Scale: 1 : 250

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SOUTH ELEVATIONS

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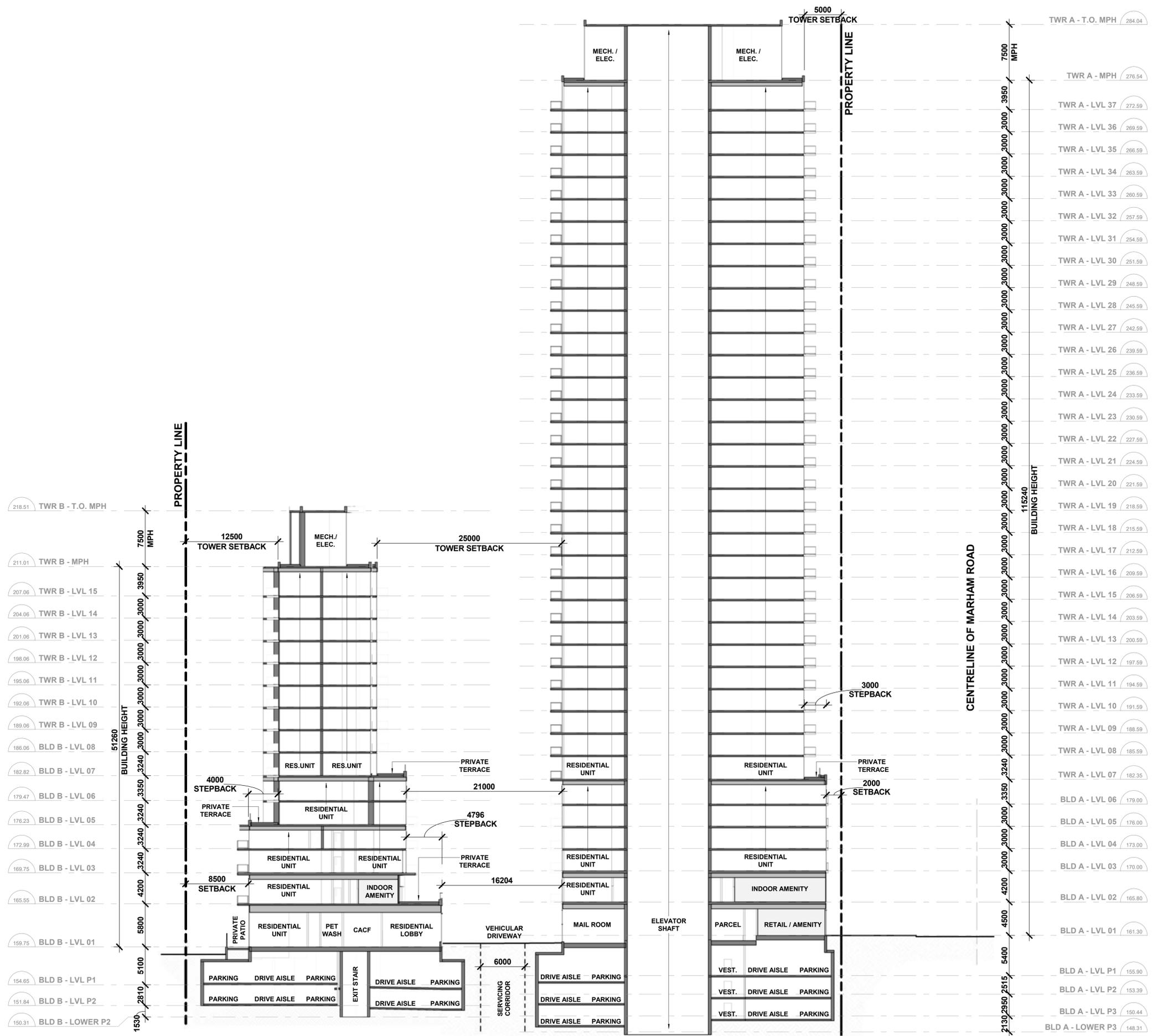
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Date
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Drawing No.

A3.03

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Drawing Title

BUILDING SECTION A - A

Scale
 1 : 250

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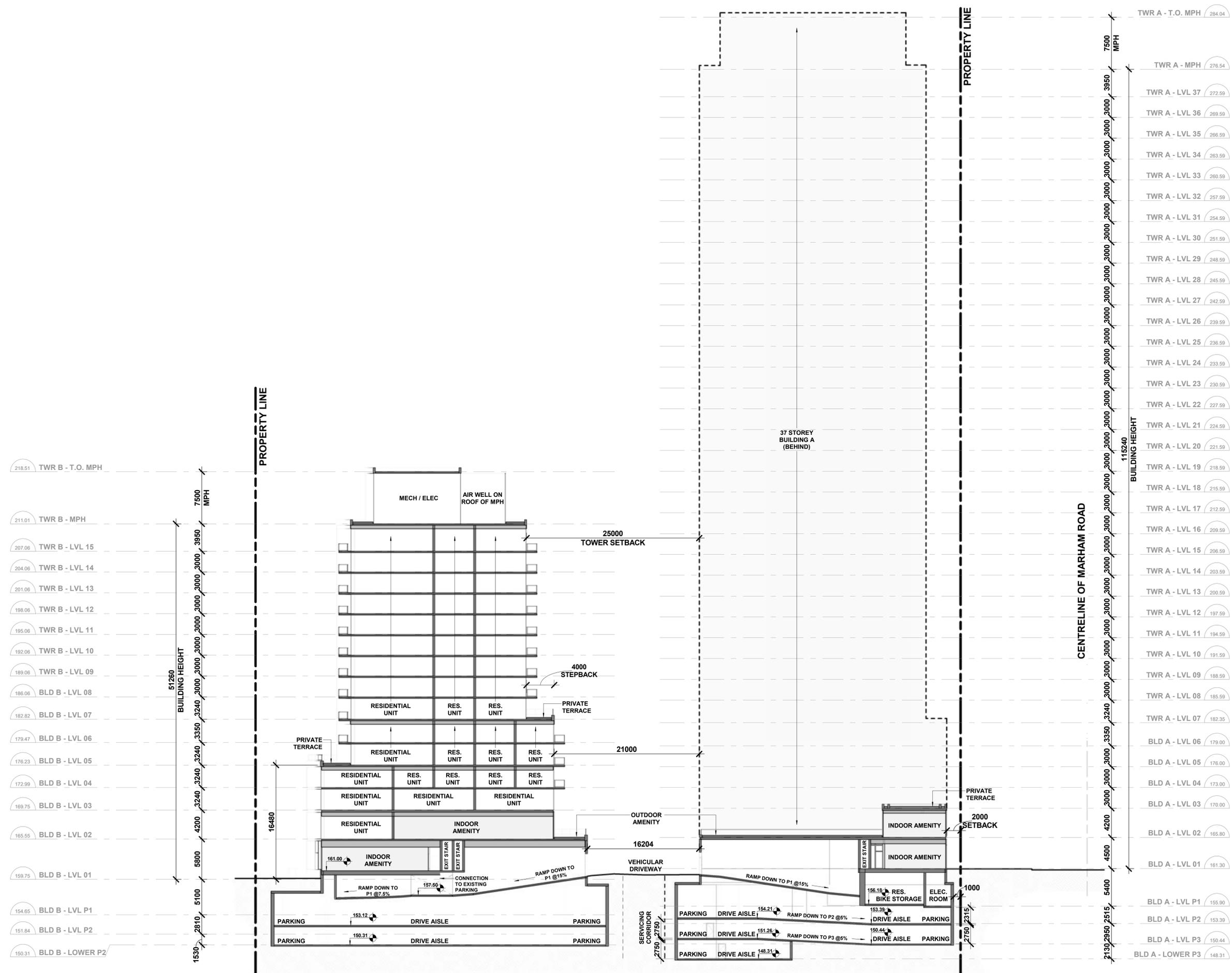
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Date
 2024-06-07

Drawing No.

A4.01

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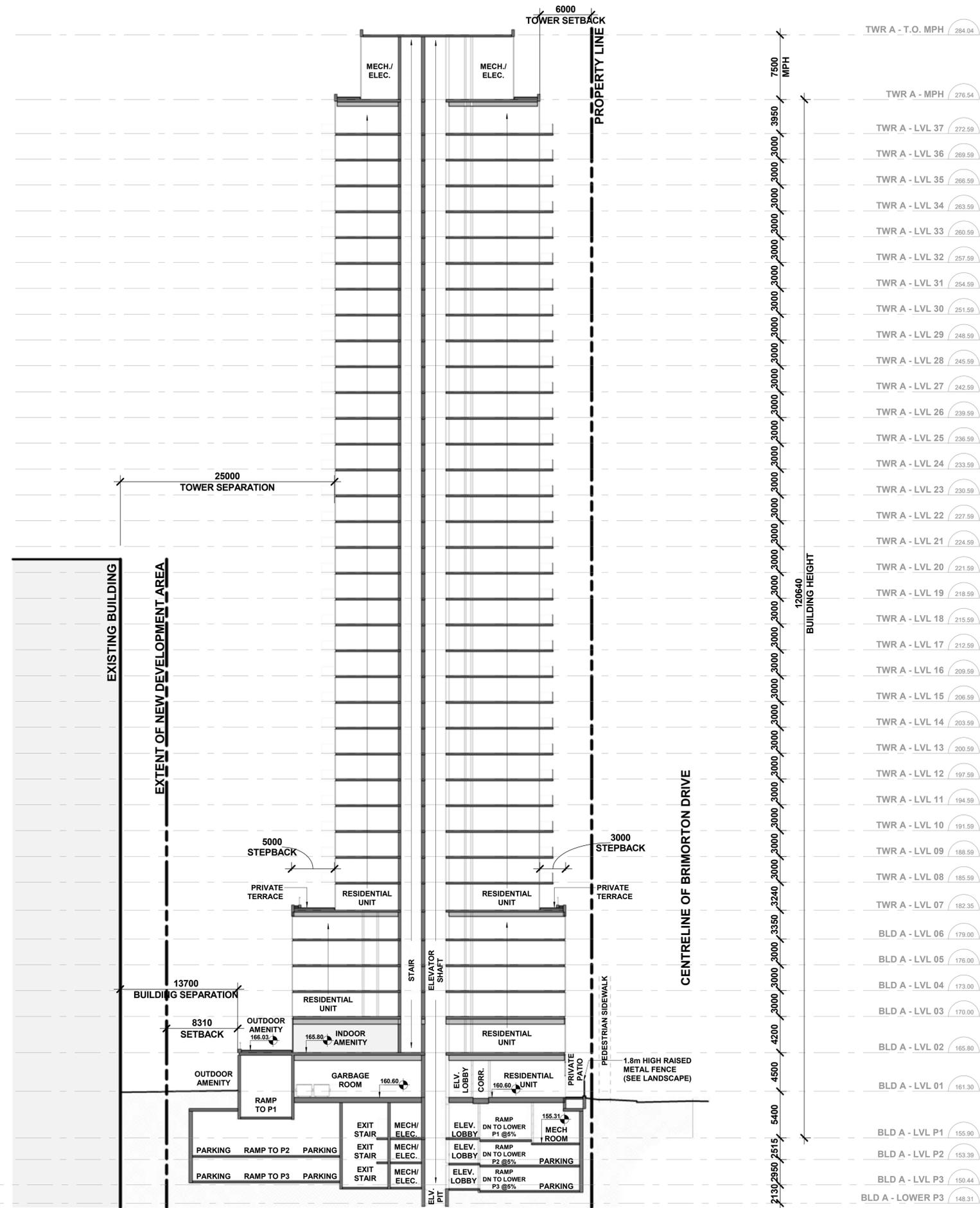
Client
CAPREIT
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BUILDING SECTION B - B

Scale
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A4.02

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TWR A - MPH	276.54
TWR A - LVL 37	272.59
TWR A - LVL 36	269.59
TWR A - LVL 35	266.59
TWR A - LVL 34	263.59
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TWR A - LVL 27	242.59
TWR A - LVL 26	239.59
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TWR A - LVL 24	233.59
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TWR A - LVL 19	218.59
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TWR A - LVL 17	212.59
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TWR A - LVL 15	206.59
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TWR A - LVL 10	191.59
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BLD A - LVL 05	176.00
BLD A - LVL 04	173.00
BLD A - LVL 03	170.00
BLD A - LVL 02	165.80
BLD A - LVL 01	161.30
BLD A - LVL P1	155.90
BLD A - LVL P2	153.39
BLD A - LVL P3	150.44
BLD A - LOWER P3	148.31

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Client
CAPREIT

Drawing Title

BUILDING SECTION C - C

Scale
 1 : 250

Drawn by

Checked by

Project No.
 23-11

Date
 2024-06-07

Drawing No.

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Project
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 1050 Markham Road,
 Toronto, Ontario, M1H 2Y5

Client
 CAPREIT

Drawing Title
 BUILDING SECTION D - D

Scale
 1 : 150

Drawn by

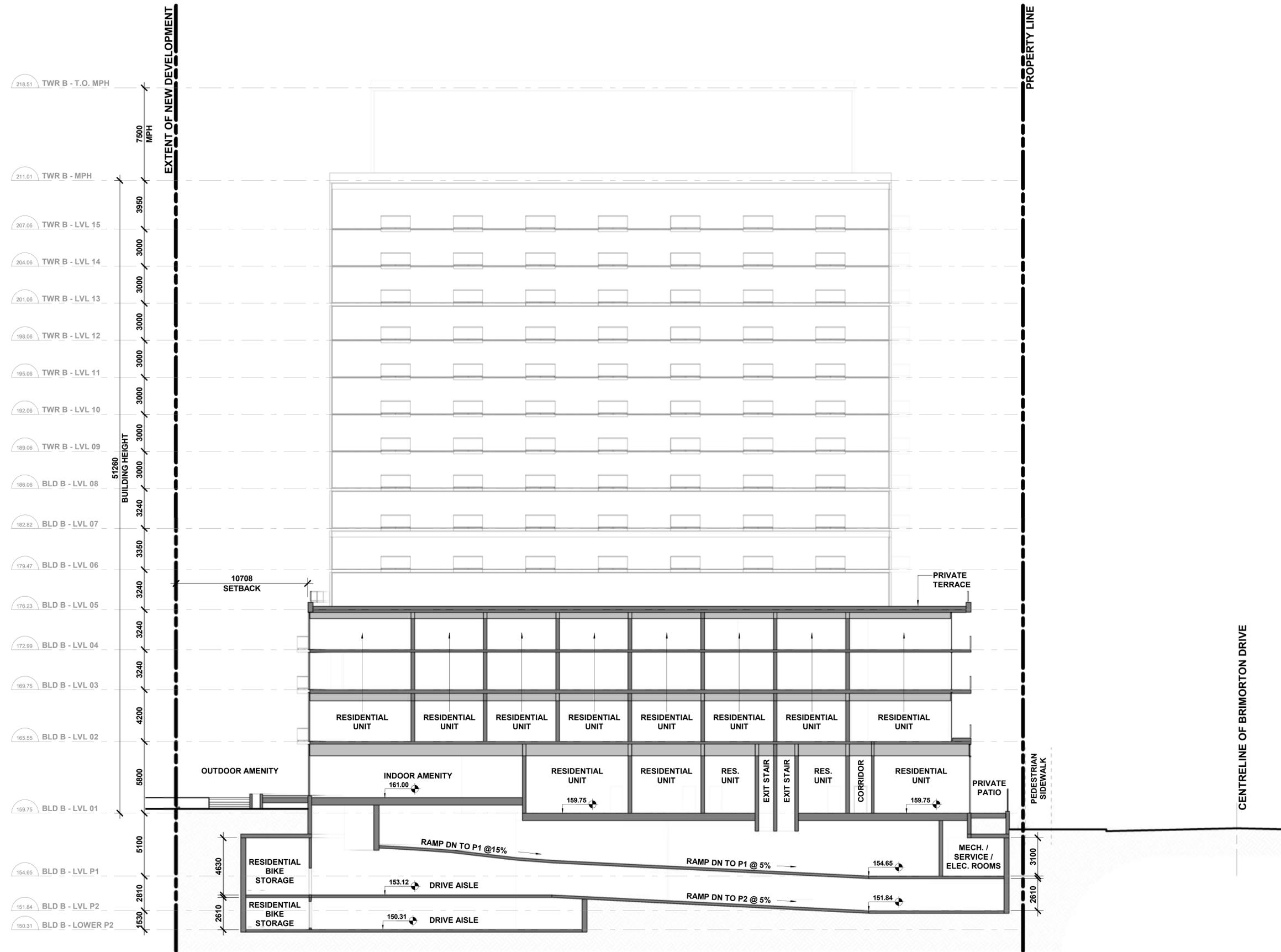
Checked by

Project No.
 23-11

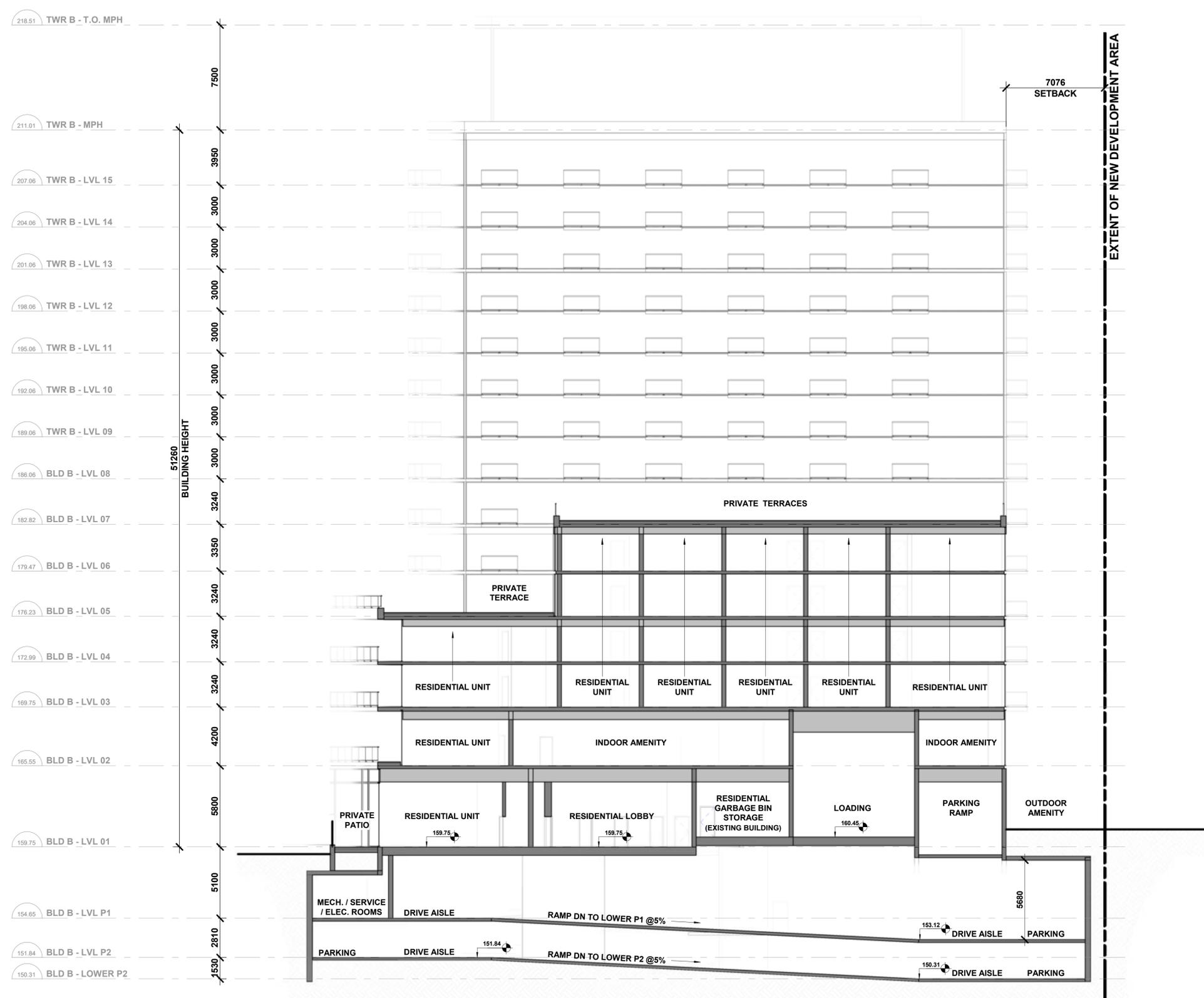
Date
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Drawing No.
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Client
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Drawing Title

BUILDING SECTION E - E

Scale
 1 : 150

Drawn by

Checked by

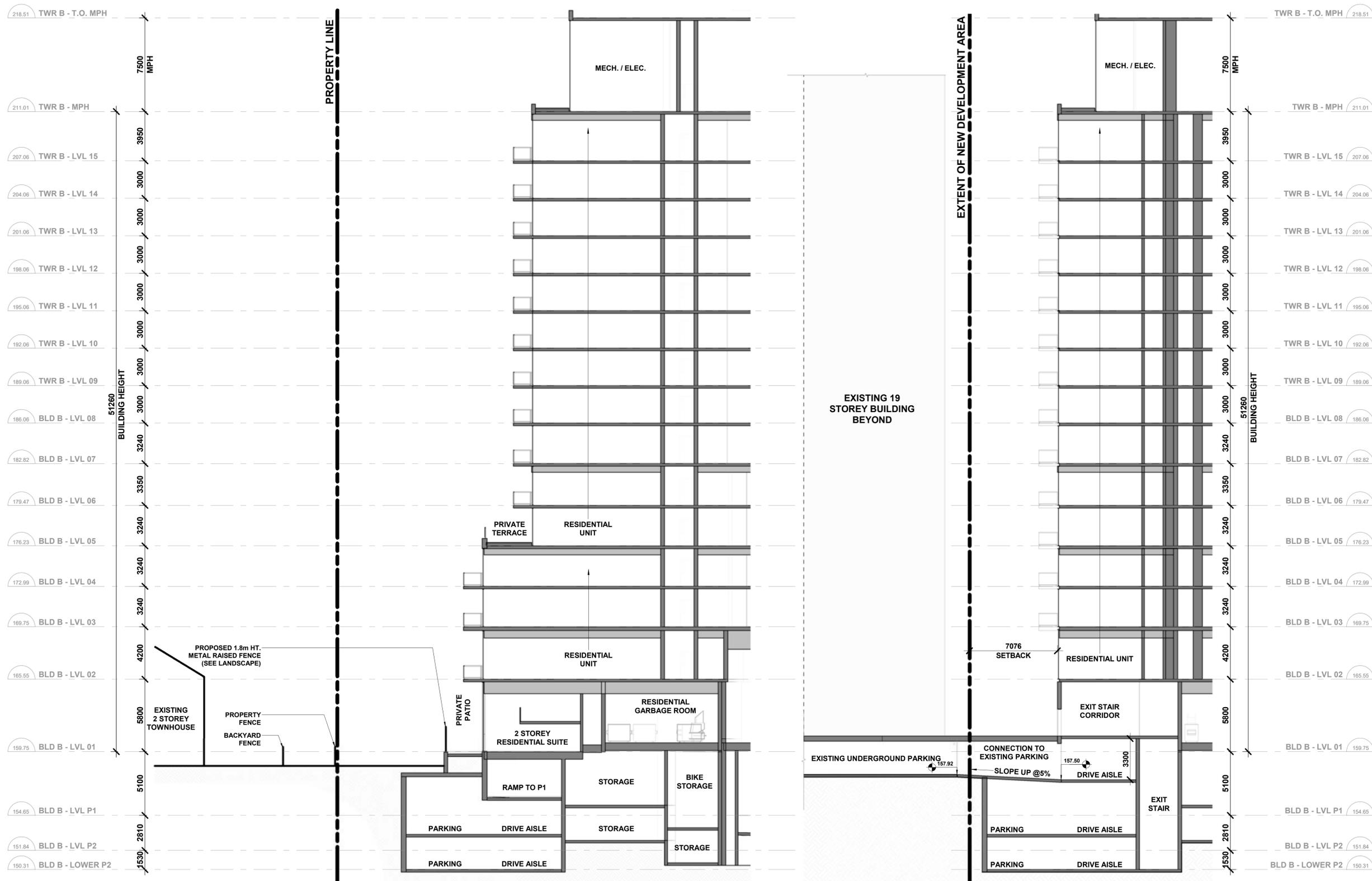
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Date
 2024-06-07

Drawing No.

A4.05

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Client
CAPREIT
 Drawing Title

WALL SECTIONS - BUILDING B

Scale	Drawn by	Checked by	Project No.	Date	Drawing No.
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MARCH 21ST 9:18 AM



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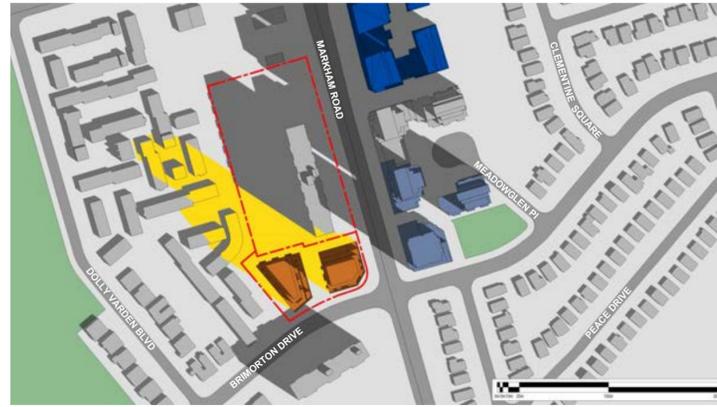


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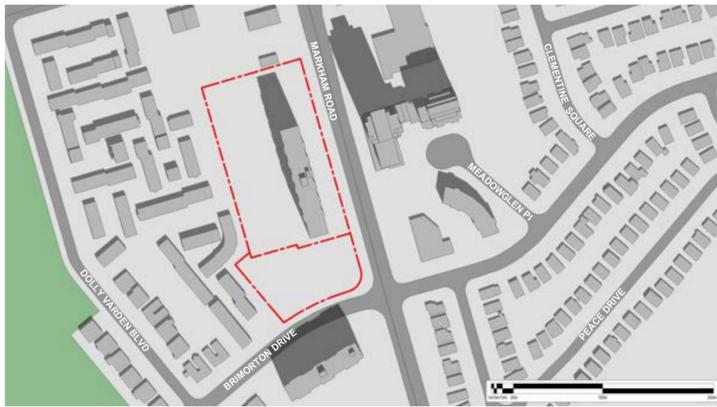


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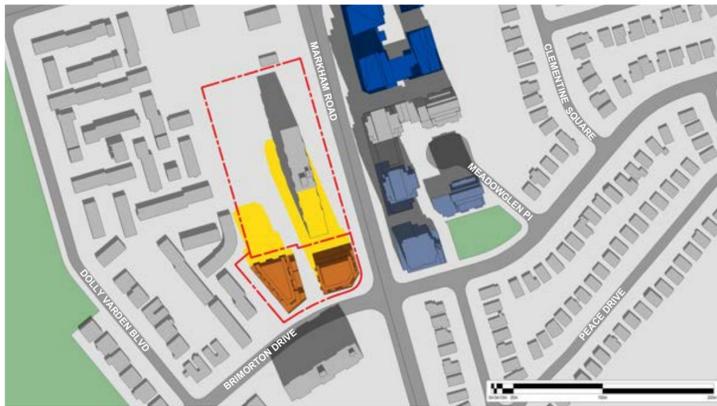


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LEGEND

- APPLICANT PROPOSAL
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- PARK
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Client
CAPREIT

Drawing Title
 SHADOW STUDIES
 MARCH

Scale
1 : 3000

Drawn by

Checked by

Project No.
23-11

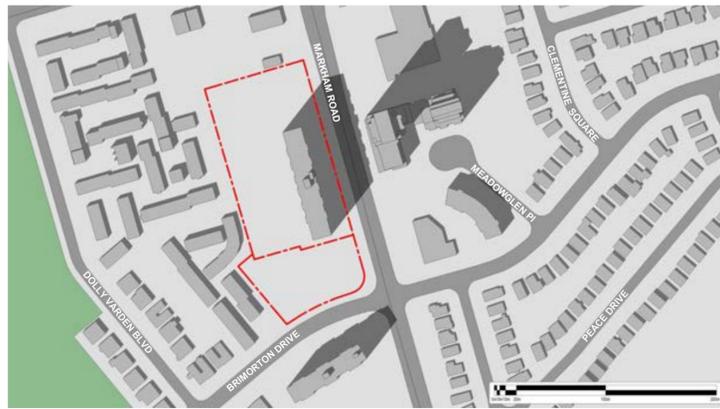
Date
2024-06-07

Drawing No.

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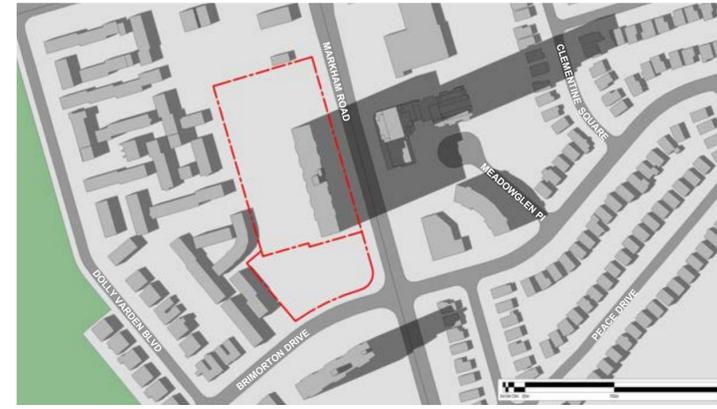


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Client
CAPREIT

Drawing Title
**SHADOW STUDIES
 MARCH**

Scale
 1 : 3000

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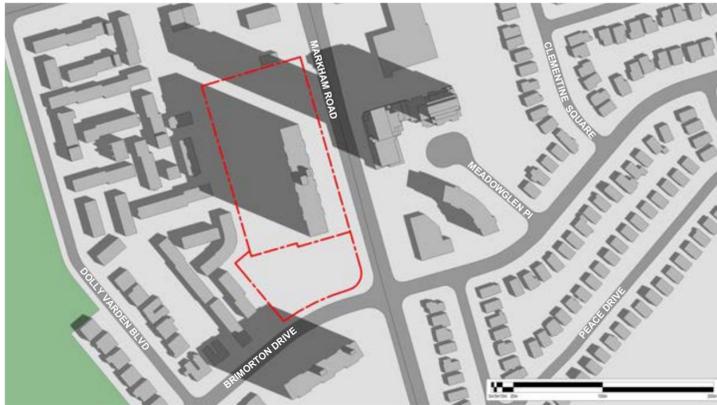
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Date
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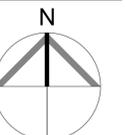
No	Issued For	Date
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LEGEND

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Drawing Title
CAPREIT

SHADOW STUDIES
SEPTEMBER

Scale
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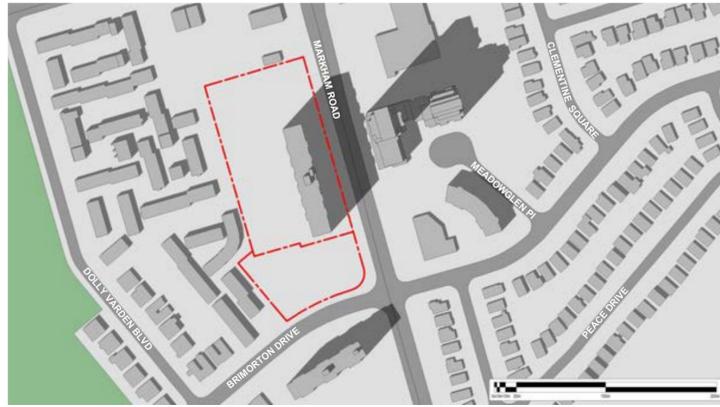
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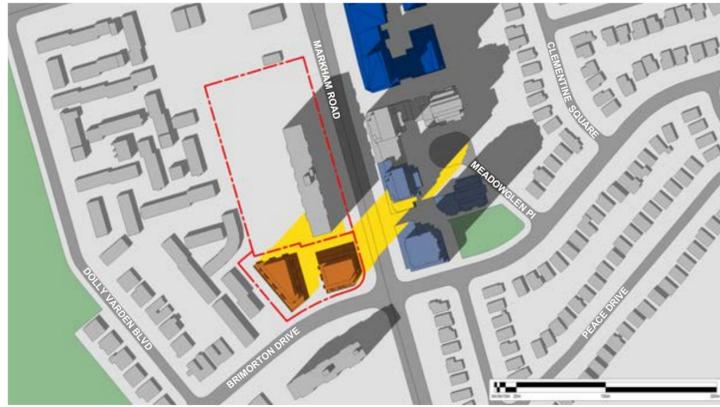
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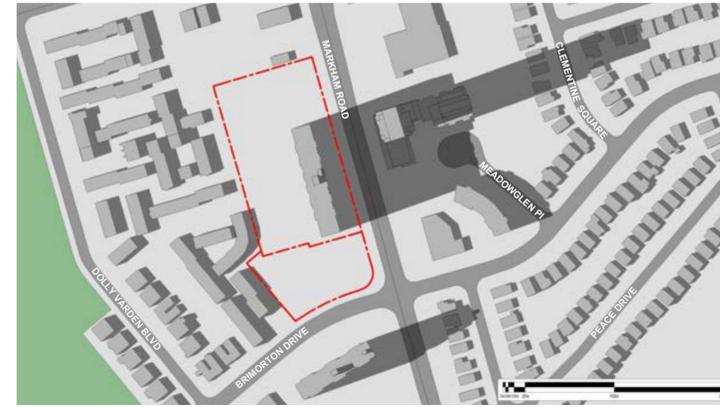


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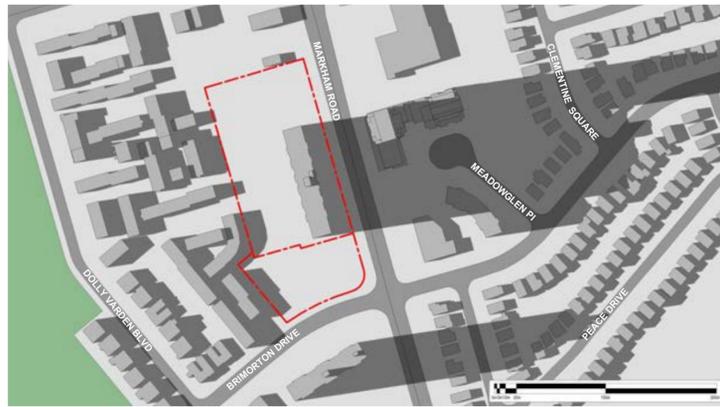


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