

1050 Markham Road

TORONTO, ONTARIO

ISSUED FOR ZBA SUBMISSION #1

06.07.2024

LANDSCAPE ARCHITECT

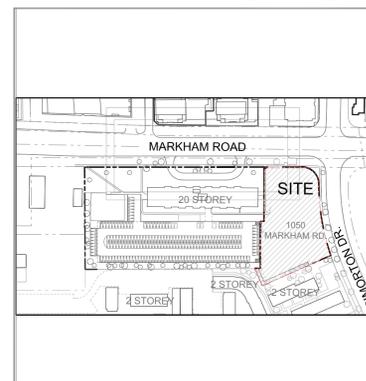


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Canadian Apartment Properties Reit

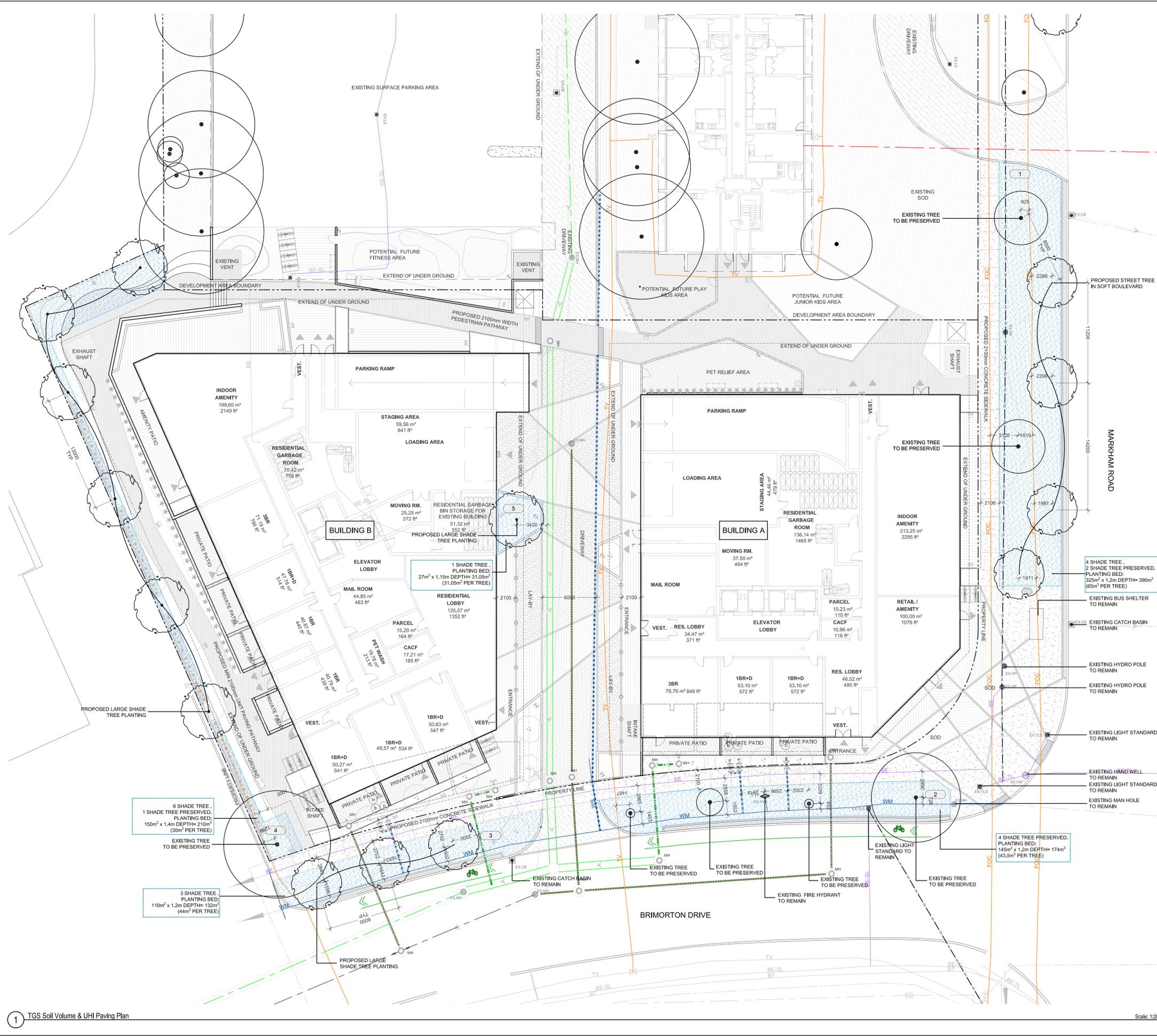
11 Church Street, Toronto, ON M5E 1W1
416.861.9404

KEY PLAN



DRAWING LIST

L0	Overall Site Landscape Plan
L1	TGS Soil Volume & UHI Paving Plan
L1a	Ground Floor Landscape Plan
L2	Public Utility Overlay Plan
L3	Ground Floor Planting Plan
L4a	Ground Floor Lighting Plan & Details
L5a	2nd Floor Outdoor Amenity Terrace Landscape Plan
L6	Green Roof Plan and Details
L7a	Streetscape Sections
L7b	Streetscape Sections
TP1	Tree Preservation Plan
TP2	Tree Preservation Tables, Images, and Details



THE QL-B UTILITY SURVEY DATA PROVIDED (FEB 24, 2024), BY INFRASTRUCTURE INTELLIGENT SERVICES INC. PLEASE REFER TO SECTIONS AND PLANS CONFIRMING MINIMUM REQUIRED CLEARANCES AS PER CITY OF TORONTO'S APPENDIX O "VERTICAL AND HORIZONTAL CLEARANCE GUIDELINES".

WATER EFFICIENCY NOTE:

- TOTAL AREA OF PROPOSED LANDSCAPE = 1843.9m²
- IRRIGATION TO BE PROVIDED FOR ALL PLANTING AREAS.

TREE PLANTING NOTE:

- ALL NEW / RETAINED LARGE SHADE TREES WILL BE PROVIDED WITH 30m³ OF APPROVED SOIL IN CONTINUOUS SOIL TRENCHES AS REQUIRED BY THE CITY OF TORONTO.
- ALL TREES WITHIN BOULEVARD & PRIVATE BLOCK TO HAVE 4 YEAR WARRANTY AND WATERING PROGRAM.

Existing Utility Legend

*Clearance Guidelines as per City of Toronto Appendix O: V=Vertical, H=Horizontal

- Bell Canada Conduit Clearance (V=600mm, H=600mm)
- Water Main Clearance (V=300mm, H=750mm)
- Combined Sewer Clearance (V=500mm, H=900mm)
- T.H.E.S. Conduit (V=300mm, H=600mm)
- Storm Sewer Clearance (V=300mm, H=750mm)
- Gas Main Clearance (V=300mm, H=600mm)

1 Soil Volume List - Public Property

Soil Area No.	Location (City Block/Proprietary)	Soil Area (m ²)	Soil Depth (mm)	Soil Volume (m ³)	Tree Quantity	Soil Volume per Tree (m ³)	Hand Surface or Soil Surface	Soil Cols. (m ³ /col)	Notes
1	City Block	125	150	18.75	4	4.69	SOFT SUBGRADE	No.	2 Trees Proposed
2	City Block	125	150	18.75	4	4.69	SOFT SUBGRADE	No.	4 Trees Proposed
3	City Block	125	150	18.75	4	4.69	SOFT SUBGRADE	No.	4 Trees Proposed

2 Soil Volume List - Private Property

Soil Area No.	Location (City Block/Proprietary)	Soil Area (m ²)	Soil Depth (mm)	Soil Volume (m ³)	Tree Quantity	Soil Volume per Tree (m ³)	Hand Surface or Soil Surface	Soil Cols. (m ³ /col)	Notes
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Statistics Template - Toronto Green Standard Version 4.0

Mid to High Rise Residential and all New Non-Residential Development

The Toronto Green Standard Version 4.0 Statistics Template is submitted with Site Plan Control Applications and stand-alone Zoning Bylaw Amendment applications. Complete the table and copy it directly onto the Site Plan Control Application or Zoning Bylaw Amendment application. For further information, please visit www.toronto.ca/development

General Project Description	Required	Proposed	Proposed %
Total Gross Floor Area	39,811.1	39,811.1	100%
Breakdown of project components (m ²):			
Residential	39,811.1	39,811.1	100%
Retail	100.0	100.0	100%
Commercial			
Industrial			
Institutional/Other			
Total number of residential units	635	635	100%

Section 1: For Stand Alone Zoning Bylaw Amendment Applications and Site Plan Control Applications	Required	Proposed	Proposed %
Number of long-term bicycle parking spaces (all-use)	432	446	103%
Number of long-term bicycle parking located on:			
a) first floor of building	0	0	0%
b) second floor of building	0	0	0%
c) first level below-ground	192	192	100%
d) second level below-ground	128	128	100%
e) other levels below-ground	128	128	100%
Number of short-term bicycle parking spaces	45	50	111%
Number of shower and change facilities (non-residential)	N/A	0	0%

Tree Category	Required	Proposed	Proposed %
Total Soil Volume (40% of the site area + 66 m ² x 30 m)	936.65	937.05	100%
Soil volume provided within the site area (m ³)	241.05	241.05	26%
Soil Volume provided within the public boulevard (m ³)	696	696	74%



Legend

- PROPOSED DECIDUOUS TREES
- PROPOSED ORNAMENTAL TREES
- PROPOSED CONIFEROUS/GRASS PLANTING
- EXISTING TREES TO REMAIN
- PROPOSED VINE PLANTING
- PROPOSED GROUNDCOVER AND SHRUB PLANTING
- PROPOSED SOD
- PROPOSED PEDESTRIAN PRECAST CONCRETE UNIT PAVING
- PROPOSED VEHICULAR PRECAST CONCRETE UNIT PAVING
- PROPOSED CONCRETE PAVING
- PROPOSED VEHICULAR CONCRETE PAVING
- PROPOSED ARTIFICIAL TURF
- PROPOSED RUBBERIZED SURFACE
- EXISTING CONCRETE
- EXISTING ASPHALT
- PROPOSED SOIL VOLUME AREA NUMBER

No.	Date	Revisions	By
01	06.07.2024	ISSUED FOR ZBA SUBMISSION #1	GM

Designed By: [Signature]

North Arrow

Canadian Apartment Properties Reit

the mbtw group

Project Name:

1050 Markham Road

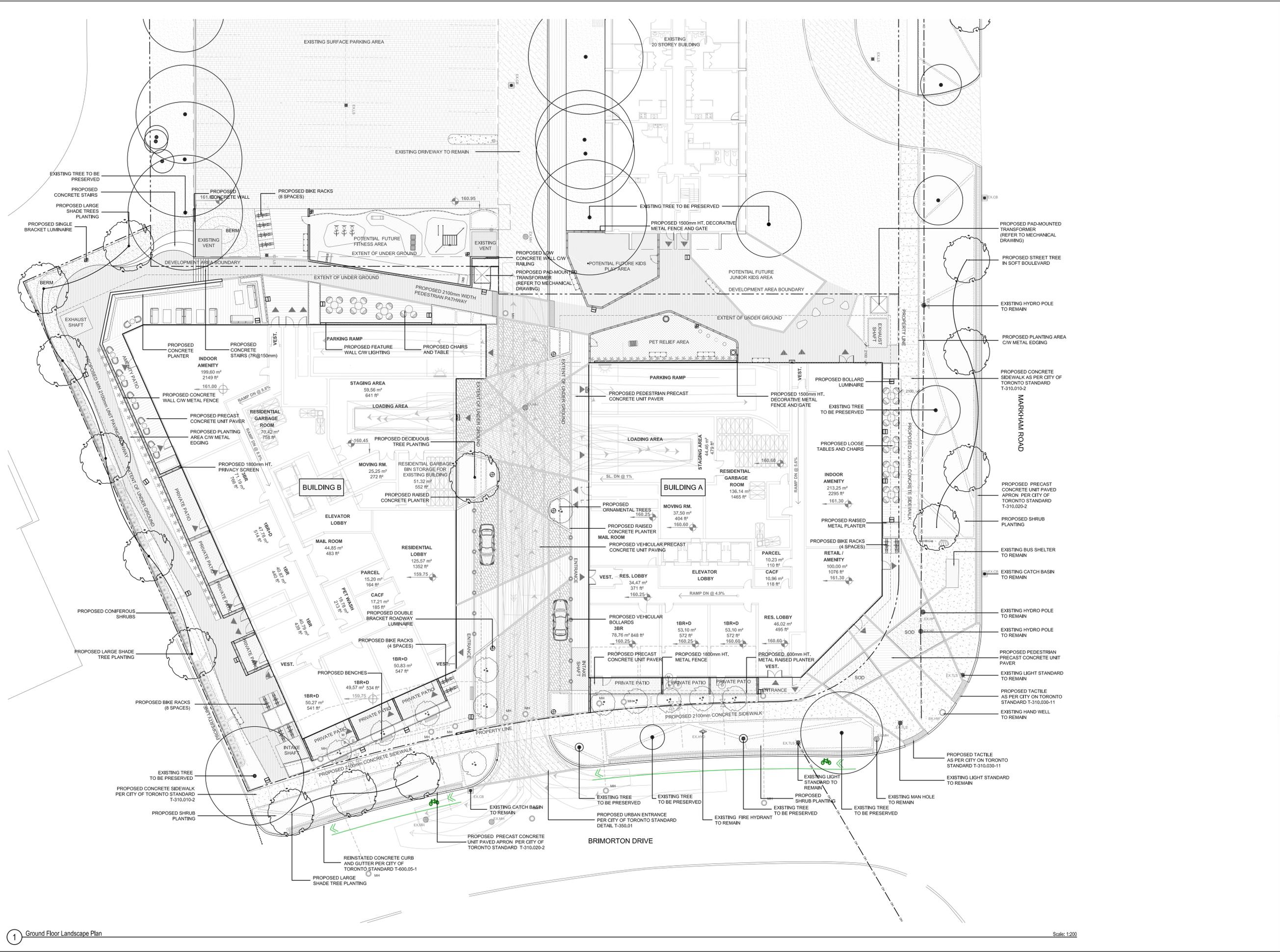
City of Toronto

Sheet Title:

TGS Soil Volume & UHI Paving Plan

Designed: SM Drawn: PP Scale: AS SHOWN Drawing No.: CRT001

Date of Drawing: April 2024 Job No.: CRT001



Key Plan



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- PROPOSED ARTIFICIAL TURF
- PROPOSED RUBBERIZED SURFACE
- EXISTING CONCRETE
- EXISTING ASPHALT
- PROPOSED CATCHBASINS
- PROPOSED MANHOLES
- PROPOSED BIKE RACK
- PROPOSED BENCH
- PROPOSED CHAIR AND TABLES
- PROPOSED VEHICULAR GRADE BOLLARDS
- PROPOSED FENCES

No	Date	Revisions	By
1.0	06.07.2024	ISSUED FOR ZBA SUBMISSION #1	GM

This drawing is an instrument of service, as provided to, and in the possession of the client, for the construction of the project and shall not be used for any other purpose without the written consent of the design professional.

Professional seal and signature of the landscape architect, including the text 'DESIGNED BY' and 'North Arrow'.

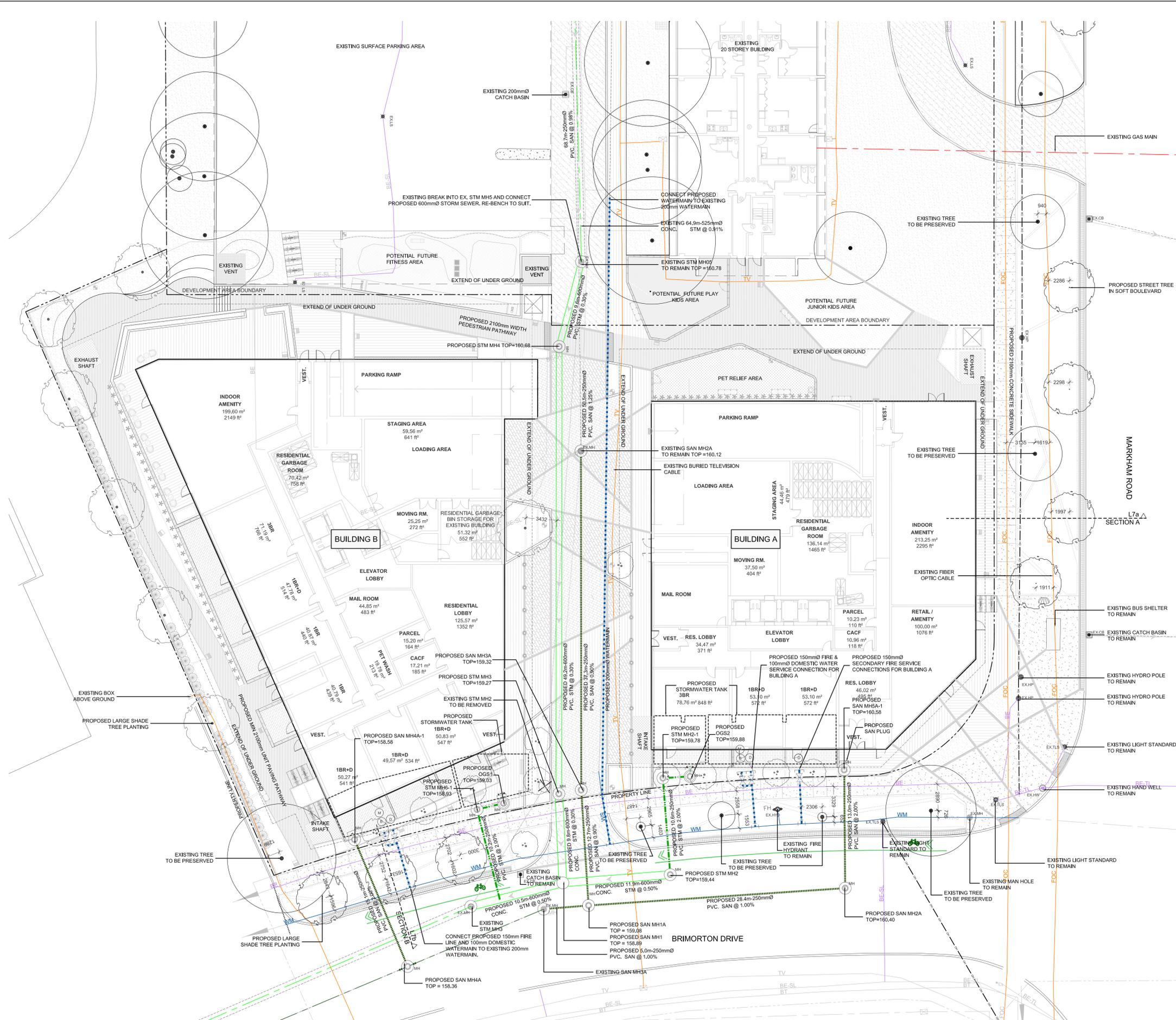
Canadian Apartment Properties REIT

the mbtw group
255 Warden Ave., Unit 14 | Toronto, Ontario, Canada M6H 1S8
T: (416) 441-7767 | F: (416) 448-1803 | www.mbtw.com

Project Name:
1050 Markham Road
City of Toronto

Sheet Title:
Ground Floor Landscape Plan

Designed: SM	Drawn: PP	Scale: AS SHOWN	Drawing No.:
Date of Drawing: January 2024	Job No.:	CRT001	L1a



Existing Utility Legend

Clearance Guidelines as per City of Toronto Appendix O:
 Vertical, H=Horizontal

—	Bell Canada Conduit Clearance (V=600mm, H=600mm)*
—	Water Main Clearance (V=300mm, H=750mm)*
—	Combined Sewer Clearance (V=500mm, H=900mm)*
—	T.H.E.S. Conduit (V=300mm, H=600mm)*
—	Storm Sewer Clearance V=300mm, H=750mm)*
—	Gas Main Clearance (V=300mm, H=600mm)*

LEGEND: SUE Investigation Results - GUB

UNDERGROUND UTILITY CODES AND COLOURS

WM	WATER MAIN
CS	COMBINED SEWER
SS	STORM SEWER
BM	BURIED ELECTRIC STREET LIGHT
BE-TL	BURIED ELECTRIC TRAFFIC LIGHT
LM	UNKNOWN CONDUCTIVE
FOC	FIBRE OPTIC CABLE
TV	BURIED TELEVISION CABLE
TC	BURIED TELECOMMUNICATIONS
CA	COMPRESSED AIR
OW	OVERHEAD WIRE
QV	QUALITY LEVEL "V"
QH	QUALITY LEVEL "H"
Q	QUALITY LEVEL "Q"
---	LIMIT OF INVESTIGATION

	PROPOSED MANHOLE BY CIVIL ENGINEER
	EXISTING CATCH BASIN
	EXISTING MANHOLE
	PROPOSED STORM SEWER BY CIVIL ENGINEER
	PROPOSED SANITARY SEWER BY CIVIL ENGINEER
	PROPOSED WATERMAIN BY CIVIL ENGINEER
	PROPOSED VALVE AND BOX BY CIVIL ENGINEER
	PROPOSED DETECTOR ASSEMBLY, BACKFLOW PREVENTOR, WATER METER BY CIVIL ENGINEER

APPENDIX O VERTICAL AND HORIZONTAL CLEARANCE GUIDELINES*

All Dimensions in Millimetres (mm)	Preferred Vertical Clearance	Preferred Horizontal Clearance
ELECTRICITY		
All Infrastructure		
Hydro One Networks (Ontario Hydro)	1000	1000
Toronto Hydro Electric System	300	600
Hydro Cables	300	600
Poles	1000	1000
Platform or submersible/splice vault - grounding located outside structure	1000	1400
Toronto Hydro Street Lightings	300	600
Streetlighting Duct	300	600
GAS		
Enbridge Gas Distribution Inc. (Consumer's Gas)		
Gas Main NPS 12 (300 mm) and Less - Open Trench Method	300	600
CER Regulated Pipelines and Vital Mains - Open Trench Method	600	1000
All Pipelines - Directional Drilling/Boring Method	1000	1000
Regulator Stations	1000	1000
ROAD		
General		
Clearance from road, curb, sidewalks	1000	500
Clearance from Catch Basins	1000	500
Traffic Signals		
Traffic Signal Duct	300	600
Above-ground plant clearance from Controller Boxes	1000	Front 1500 Side/Back 500
Above-ground plant clearance from Traffic Signal Poles	1000	500
Roads Emergency Service Communications Unit (RESCU)		
All Infrastructure	300	600
RESCU CCTV Camera	1000	2000
STREET / PROPERTY LINE		
All Infrastructure	300	300
STEAM / CHILLED WATER		
Enwave Energy Corporation (TDHC - Toronto District Heating Corporation)		
Chilled Water Pipes	300	300
Steam Lines	600	600

All Dimensions in Millimetres (mm)	Preferred Vertical Clearance	Preferred Horizontal Clearance
TELECOMMUNICATIONS		
Bell Canada		
Manholes	1000 from floor of manhole	1000 from outside edge of walls
Conduit	600 from bottom edge of conduit (concrete encased)	600 from outside edge of conduit
Direct buried, or non-concrete encased conduit		
Above-ground infrastructure	1000	600
Group Telecom (360 Networks)		
All Infrastructure	300	600
MTS Allstream (MetroNet, UniFet, AT&T, CNCP)		
All Infrastructure	300	600
Rogers Cable Communications		
All Infrastructure	300	600
Telus Communications		
All Infrastructure	300	600
Toronto Hydro Telecom		
All Infrastructure	300	600
Vidotron Telecom (Stream Networks Inc)		
All Infrastructure	300	600
Roads Emergency Service Communications Unit (RESCU)		
All Infrastructure	300	600
TREES		
Refer to MCR Appendix F		
TRACKS		
Toronto Transit Commission (TTC)		
Streetcar Track Allowance	600	500

All Dimensions in Millimetres (mm)	Preferred Vertical Clearance	Preferred Horizontal Clearance
WATER		
Water Supply		
Inside Diameter < 150mm	150	400
100mm <= Inside Diameter < 400mm	300	750
Inside Diameter < 750mm	300	600
Valve Chamber	1000	600
Fire Hydrants		
Above-ground plant clearance from hydrant	400	1200
Buried plant clearance from hydrant (incl. lead and valve)	400	1500
Wastewater - Storm (incl. CB and sub-drain)		
Inside Diameter < 150mm	150	600
150mm <= Inside Diameter < 450mm	300	750
Inside Diameter >= 450mm	500	600
Maintenance Hole	1000	600
Wastewater - Sanitary / Combined		
Inside Diameter < 150mm	150	600
100mm <= Inside Diameter < 375mm	300	750
Inside Diameter >= 375mm	500	600
Maintenance Hole	1000	600

* Preferred clearances may be reduced with the written permission of the affected plant owner(s)
 ** Clearance above and below to be determined on a case-by-case basis

Key Plan

Legend

	PROPOSED MANHOLE BY CIVIL ENGINEER
	EXISTING CATCH BASIN
	EXISTING MANHOLE
	PROPOSED STORM SEWER BY CIVIL ENGINEER
	PROPOSED SANITARY SEWER BY CIVIL ENGINEER
	PROPOSED WATERMAIN BY CIVIL ENGINEER
	PROPOSED VALVE AND BOX BY CIVIL ENGINEER
	PROPOSED DETECTOR ASSEMBLY, BACKFLOW PREVENTOR, WATER METER BY CIVIL ENGINEER

NOTE: THE OL-A UTILITY SURVEY DATA PROVIDED (MAY 01, 2024), BY INFRASTRUCTURE INTELLIGENT SERVICES INC. PLEASE REFER TO SECTIONS AND PLANS CONFIRMING MINIMUM REQUIRED CLEARANCES AS PER CITY OF TORONTO'S APPENDIX O "VERTICAL AND HORIZONTAL CLEARANCE GUIDELINES".

No	Date	Revisions	By
1.0	00.00.2024	ISSUED FOR ZBA/SPA SUBMISSION	GM

Designed By: [Signature] North Arrow

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the mbtw group
 255 Wilsdale Ave., Unit 14 Toronto, Ontario, Canada M6H 1S8
 T: (416) 441-7767 F: (416) 441-1803 www.mbtw.com

Project Name: 1050 Markham Road
 City of Toronto

Sheet Title: Public Utility Overlay Plan

Designed: SM	Drawn: PP	Scale: AS SHOWN	Drawing No.:
Date of Drawing: April 2024	Job No.: CRT001		L2

Key	Botanical Name	Common Name	Cat.	Ht.	Spread	Cond.	Remarks	Total
Large Deciduous Trees								
Ta	Tilia americana	Basswood	70mm			W.B.	Uniform Specimen	3
Af	Acer x freemannii 'Jeffersred'	Autumn Blaze Maple	70mm			W.B.	Uniform Specimen	2
Gt	Gleditsia tricanthos var. inermis 'Sunburst'	Sunburst Honeylocust	70mm			W.B.	Uniform Specimen	2

2 Planting List - Ground Floor - ROW Trees

Key	Botanical Name	Common Name	Cat.	Ht.	Spread	Cond.	Remarks	Total
Large Deciduous Trees								
Or	Quercus rubra	Red Oak	70mm			W.B.	Uniform Specimen	6
Lt	Liriodendron tulipifera	Tulip Tree	70mm			W.B.	Uniform Specimen	1

3 Planting List - Ground Floor - Private Trees

Key	Botanical Name	Common Name	Cat.	Ht.	Spread	Cond.	Remarks	Total
Large Ornamental Deciduous Shrubs								
vt	Viburnum trilobum	Highbush Cranberry		2.5m		W.B.	Multistem	8
al	Amelanchier laevis	Allegheny Serviceberry		2.5m		W.B.	Multistem	4

4 Planting List - Ground Floor - Shrubs and Perennials

Key	Botanical Name	Common Name	Cat.	Ht.	Spread	Cond.	Remarks	Total
Deciduous Shrubs								
dlc	Deutzia x lemoinei 'Compacta'	Compact Deutzia		60cm	3 Gal pot.		Uniform Specimen	56
csk	Cornus sericea 'Kelsey'	Kelsey Red Osier Dogwood		60cm	3 Gal pot.		Uniform Specimen	84
hpb	Hydrangea paniculata 'Bokraftme'	Magical Candle Hydrangea		60cm	3 Gal pot.		Uniform Specimen	32

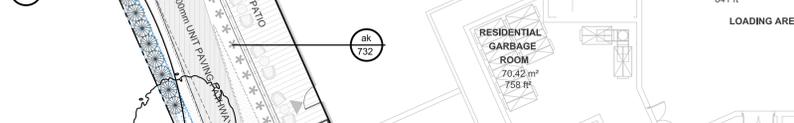
5 Soil Volume List - Public Property

Soil Area No.	Location (City ROW, private property)	Soil Area (m ²)	Soil Depth (m)	Soil Volume (m ³)	Tree Quantity	Soil Volume per tree (m ³)	Irrigation provided (Yes/No)	Hard Surface or Soft Surface	Soil Cells (Yes/No)	Note
1	City ROW	325	1.2	390	6	65.00	Yes	SOFT SURFACE	No	2 Trees Preserved
2	City ROW	145	1.2	174	4	43.50	Yes	SOFT SURFACE	No	4 Trees Preserved
3	City ROW	110	1.2	132	4	33.00	Yes	SOFT SURFACE	No	4 Trees Preserved
Totals		580	1.2	696	14	49.50				10 Trees Preserved

6 Soil Volume List - Private Property

Soil Area No.	Location (City ROW, private property)	Soil Area (m ²)	Soil Depth (m)	Soil Volume (m ³)	Tree Quantity	Soil Volume per tree (m ³)	Irrigation provided (Yes/No)	Hard Surface or Soft Surface	Soil Cells (Yes/No)	Note
4	Private Property	350	1.4	490	7	70.00	Yes	SOFT SURFACE	No	3 Trees Preserved
5	Private Property	27	1.0	27.00	1	27.00	Yes	SOFT SURFACE	No	1 Tree Preserved
Totals		377	1.225	517.00	8	64.50				4 Trees Preserved

7 Key Plan



8 Legend

- PROPOSED DECIDUOUS TREES
- PROPOSED ORNAMENTAL TREES
- PROPOSED CONIFEROUS SHRUB/GRASS PLANTING
- EXISTING TREES TO REMAIN
- PROPOSED VINE PLANTING
- PROPOSED GROUND COVER AND SHRUB PLANTING
- PROPOSED PLANTING KEY
- PROPOSED ROW PLANTING KEY
- PROPOSED SOIL VOLUME AREA NUMBER
- PROPOSED LIMIT OF CONTINUOUS SOIL VOLUME

9 TOTAL SPECIES = 25

- * NATIVE SPECIES = 17 (68%)
- WATER EFFICIENT SPECIES = 16 (64%)
- POLLINATOR SPECIES = 16 (64%)
- NATIVE FLOWERING SPECIES = 11 (44%)

10 Provide a watering and maintenance program for trees for at least the first 4 years after planting. Irrigation to be provided through non-potable water per SWM report.

11 Toronto Green Standard Version 4

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12 Toronto Green Standard Version 4

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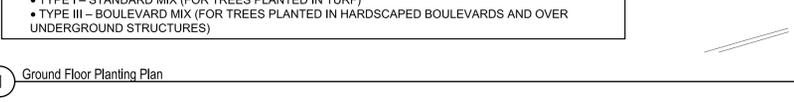
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15 Key Plan



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19 Toronto Green Standard Version 4

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20 Toronto Green Standard Version 4

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- PROPOSED DECIDUOUS TREES
- PROPOSED ORNAMENTAL TREES
- PROPOSED CONIFEROUS SHRUB/GRASS PLANTING
- EXISTING TREES TO REMAIN
- PROPOSED VINE PLANTING
- PROPOSED GROUND COVER AND SHRUB PLANTING
- PROPOSED PLANTING KEY
- PROPOSED ROW PLANTING KEY
- PROPOSED SOIL VOLUME AREA NUMBER
- PROPOSED LIMIT OF CONTINUOUS SOIL VOLUME

25 TOTAL SPECIES = 25

- * NATIVE SPECIES = 17 (68%)
- WATER EFFICIENT SPECIES = 16 (64%)
- POLLINATOR SPECIES = 16 (64%)
- NATIVE FLOWERING SPECIES = 11 (44%)

26 Provide a watering and maintenance program for trees for at least the first 4 years after planting. Irrigation to be provided through non-potable water per SWM report.

27 Toronto Green Standard Version 4

Soil Area No.	Location (City ROW, private property)	Soil Area (m ²)	Soil Depth (m)	Soil Volume (m ³)	Tree Quantity	Soil Volume per tree (m ³)	Irrigation provided (Yes/No)	Hard Surface or Soft Surface	Soil Cells (Yes/No)	Note
1	City ROW	325	1.2	390	6	65.00	Yes	SOFT SURFACE	No	2 Trees Preserved
2	City ROW	145	1.2	174	4	43.50	Yes	SOFT SURFACE	No	4 Trees Preserved
3	City ROW	110	1.2	132	4	33.00	Yes	SOFT SURFACE	No	4 Trees Preserved
Totals		580	1.2	696	14	49.50				10 Trees Preserved

28 Toronto Green Standard Version 4

Soil Area No.	Location (City ROW, private property)	Soil Area (m ²)	Soil Depth (m)	Soil Volume (m ³)	Tree Quantity	Soil Volume per tree (m ³)	Irrigation provided (Yes/No)	Hard Surface or Soft Surface	Soil Cells (Yes/No)	Note
4	Private Property	350	1.4	490	7	70.00	Yes	SOFT SURFACE	No	3 Trees Preserved
5	Private Property	27	1.0	27.00	1	27.00	Yes	SOFT SURFACE	No	1 Tree Preserved
Totals		377	1.225	517.00	8	64.50				4 Trees Preserved

29 Soil Volume List - Public Property

Soil Area No.	Location (City ROW, private property)	Soil Area (m ²)	Soil Depth (m)	Soil Volume (m ³)	Tree Quantity	Soil Volume per tree (m ³)	Irrigation provided (Yes/No)	Hard Surface or Soft Surface	Soil Cells (Yes/No)	Note
1	City ROW	325	1.2	390	6	65.00	Yes	SOFT SURFACE	No	2 Trees Preserved
2	City ROW	145	1.2	174	4	43.50	Yes	SOFT SURFACE	No	4 Trees Preserved
3	City ROW	110	1.2	132	4	33.00	Yes	SOFT SURFACE	No	4 Trees Preserved
Totals		580	1.2	696	14	49.50				10 Trees Preserved

30 Soil Volume List - Private Property

Soil Area No.	Location (City ROW, private property)	Soil Area (m ²)	Soil Depth (m)	Soil Volume (m ³)	Tree Quantity	Soil Volume per tree (m ³)	Irrigation provided (Yes/No)	Hard Surface or Soft Surface	Soil Cells (Yes/No)	Note
4	Private Property	350	1.4	490	7	70.00	Yes	SOFT SURFACE	No	3 Trees Preserved
5	Private Property	27	1.0	27.00	1	27.00	Yes	SOFT SURFACE	No	1 Tree Preserved
Totals		377	1.225	517.00	8	64.50				4 Trees Preserved

31 Key Plan

32 Legend

- PROPOSED DECIDUOUS TREES
- PROPOSED ORNAMENTAL TREES
- PROPOSED CONIFEROUS SHRUB/GRASS PLANTING
- EXISTING TREES TO REMAIN
- PROPOSED VINE PLANTING
- PROPOSED GROUND COVER AND SHRUB PLANTING
- PROPOSED PLANTING KEY
- PROPOSED ROW PLANTING KEY
- PROPOSED SOIL VOLUME AREA NUMBER
- PROPOSED LIMIT OF CONTINUOUS SOIL VOLUME

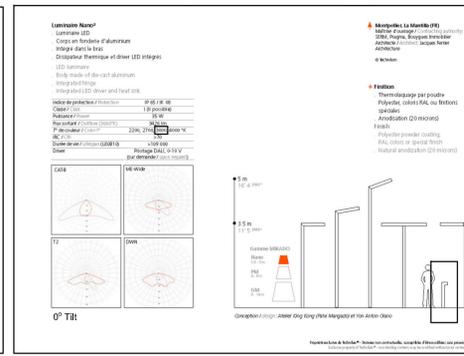
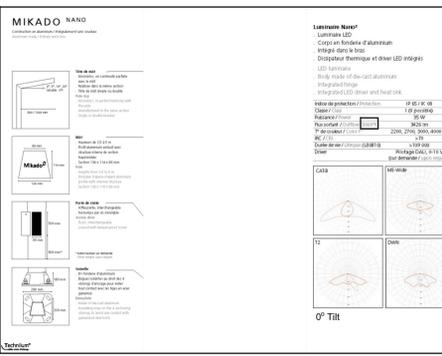
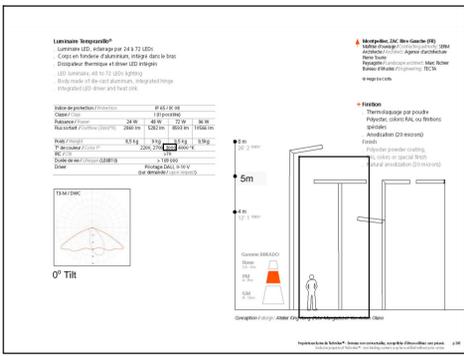
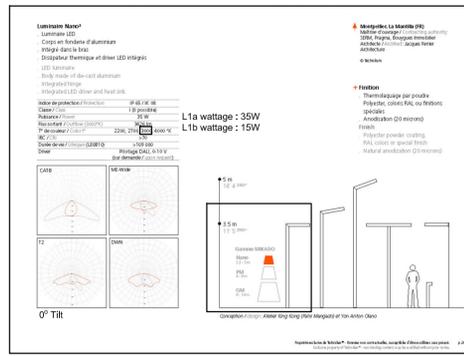
33 TOTAL SPECIES = 25

- * NATIVE SPECIES = 17 (68%)
- WATER EFFICIENT SPECIES = 16 (64%)
- POLLINATOR SPECIES = 16 (64%)
- NATIVE FLOWERING SPECIES = 11 (44%)

34 Provide a watering and maintenance program for trees for at least the first 4 years after planting. Irrigation to be provided through non-potable water per SWM report.

35 Toronto Green Standard Version 4

Soil Area No.	Location (City ROW, private property)	Soil Area (m ²)	Soil Depth (m)	Soil Volume (m ³)	Tree Quantity
---------------	---------------------------------------	-----------------------------	----------------	-------------------------------	---------------



2 Single Bracket Luminaire | 3.5m Ht -3000K -Black
L1a & L1b - Mikado Nano by Technilum

3 Double Bracket Roadway Luminaire | 5.0m Ht -3000K -Black
L2 - Mikado PM by Technilum

4 Wall-mount Luminaire | 3000K -Black
L3 - Mikado by Technilum

5 Bollard Luminaire | 1.2m Ht -3000K -Black
L4 - Mikado Nano by Technilum



1 Ground Floor Lighting Plan



Legend

	L1a	SINGLE BRACKET LUMINAIRE MIKADO BY TECHNILUM 3.5m HEIGHT 35W FINISH: BLACK
	L1b	SINGLE BRACKET LUMINAIRE MIKADO BY TECHNILUM 3.5m HEIGHT 15W FINISH: BLACK
	L2	DOUBLE BRACKET ROADWAY LUMINAIRE MIKADO BY TECHNILUM 5.0m HEIGHT FINISH: BLACK
	L3	WALL-MOUNT LUMINAIRE MIKADO BY TECHNILUM FINISH: BLACK
	L4	BOLLARD LUMINAIRE MIKADO BY TECHNILUM 1.2m HEIGHT FINISH: BLACK

No	Date	Revisions	By
1.0	06.07.2024	ISSUED FOR ZBA SUBMISSION #1	GM

The drawing is an instrument of service, as provided to, and in the possession of the client. It is the property of the client and is not to be used for any other purpose without the written consent of the design professional.

Professional seal and signature of the design professional, including the name 'Christine A. ...' and the title 'Member' of the 'Association of Landscape Architects of Ontario'.

Designed By: [Signature]
North Arrow

Canadian Apartment Properties REIT

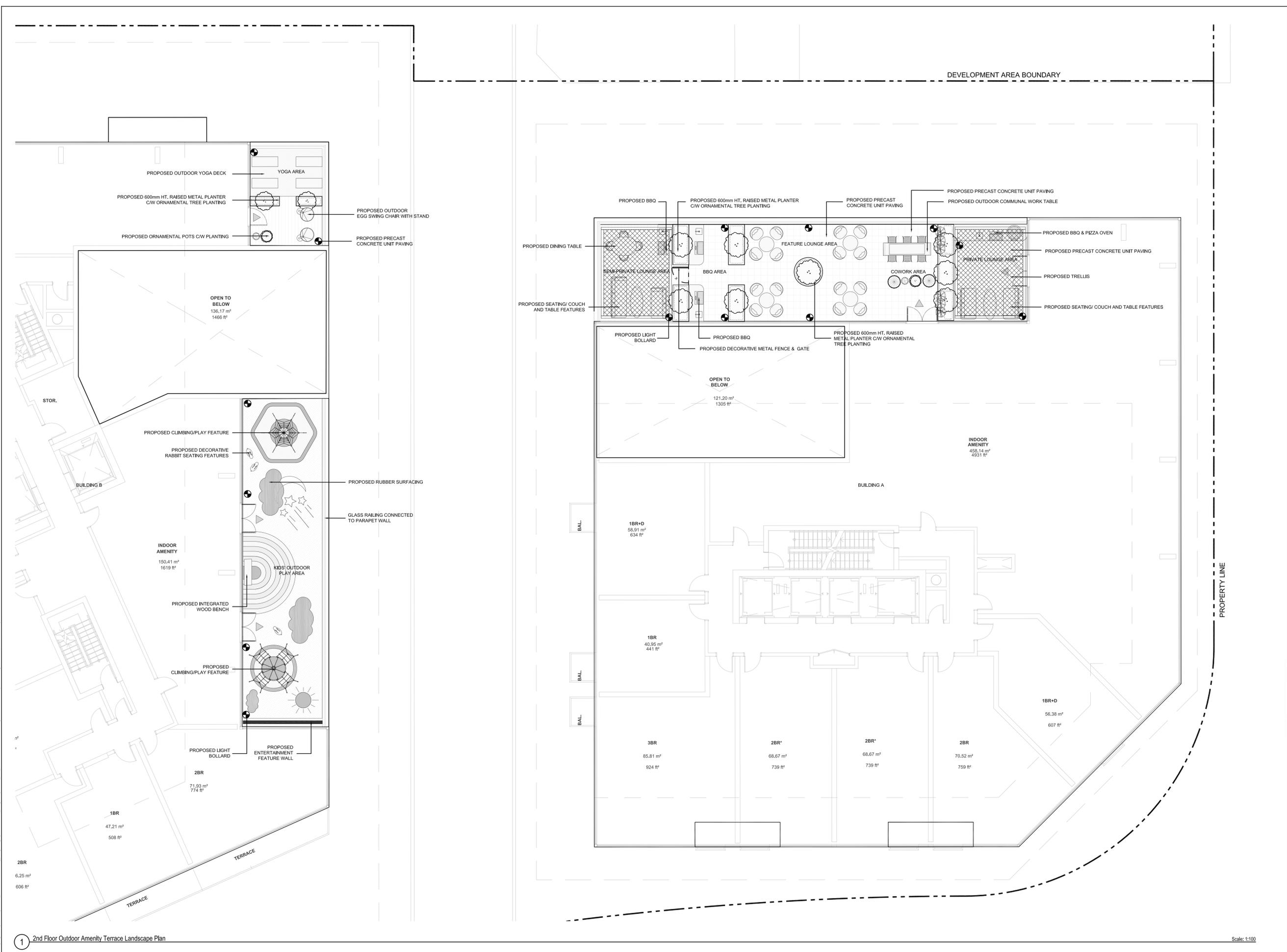
the mbtw group
255 Wilsford Ave., Unit 14 | Toronto, Ontario, Canada M6H 1S8
T: (416) 448-7767 | F: (416) 448-1803 | www.mbtw.com

Project Name:
1050 Markham Road
City of Toronto

Sheet Title:
Ground Floor Lighting Plan and Details

Designed: SM	Drawn: PP	Scale: AS SHOWN	Drawing No.:
Date of Drawing: January 2024	Job No.:	CRT001	L4a

Scale: 1:200



Key Plan

Legend

- PROPOSED CONIFEROUS TREES
- PROPOSED ORNAMENTAL VASES
- PROPOSED DECORATIVE LARGE POTS
- PROPOSED GROUNDCOVER AND SHRUB PLANTING
- PROPOSED CONCRETE UNIT PAVING
- PROPOSED RUBBER SURFACE

No	Date	Revisions	By
1.0	06.07.2024	ISSUED FOR ZBA SUBMISSION #1	GM

The drawing is an amendment of services provided to, and is the property of the client. Scale: The contractor shall check and verify all dimensions and report all errors and omissions to the landscape architect within 10 days of the drawing being issued, and within 10 days of the drawing being issued to the contractor.

Designed By: [Signature]

North Arrow

Canadian Apartment Properties REIT

the mbtw group
 (Business Address) 1000 Bloor St. W. Suite 1000 Toronto, Ontario M6H 1L5
 255 Wiskow Ave., Unit 14 Toronto, Ontario, Canada M6H 1S8
 T: (416) 448-7767 F: (416) 448-1803 www.mbtw.com

Project Name:
1050 Markham Road
 City of Toronto

Sheet Title:
2nd Floor Outdoor Amenity Terrace Landscape Plan

Designed: SM	Drawn: PP	Scale: AS SHOWN	Drawing No.: L5a
Date of Drawing: May 2024	Job No.: CRT001		

Scale: 1:100

1 2nd Floor Outdoor Amenity Terrace Landscape Plan



LiveRoof DEEP SYSTEM

SIDE VIEW

TOP VIEW

LiveRoof System Saturated Weight: 45-50 lbs./sf
NOT TO SCALE

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3 Green Roof Planting System

Supplied by: LiveRoof

Available Roof Space Calculation

Green Roof Statistics		Proposed
Gross Floor Area, as defined in Green Roof Bylaw (m²)		36,819.1
Total Roof Area (m²)		2,757.4
Area of Residential Private Terraces (m²)		893.97
Rooftop Outdoor Amenity Space, if in a Residential Building (m²)		
Area of Renewable Energy Devices (m²)		
Tower (a) Roof Area with floor plate less than 750 m²		
Total Available Roof Space (m²)		1,763.43
Green Roof Coverage	Required	Proposed
Coverage of Available Roof Space (m²)	529.03	688.5
Coverage of Available Roof Space (%)	30%	38%

Key Plan

MARKHAM ROAD
SITE

Legend

- PROPOSED GREEN ROOF PLANTING
- PROPOSED NON-VEGETATIVE BORDER
- PROPOSED HOSE BIBS

No	Date	Revisions	By
1.0	06.07.2024	ISSUED FOR ZBA SUBMISSION #1	GM

Designed By: [Signature]

North Arrow

Canadian Apartment Properties REIT

the mbtw group

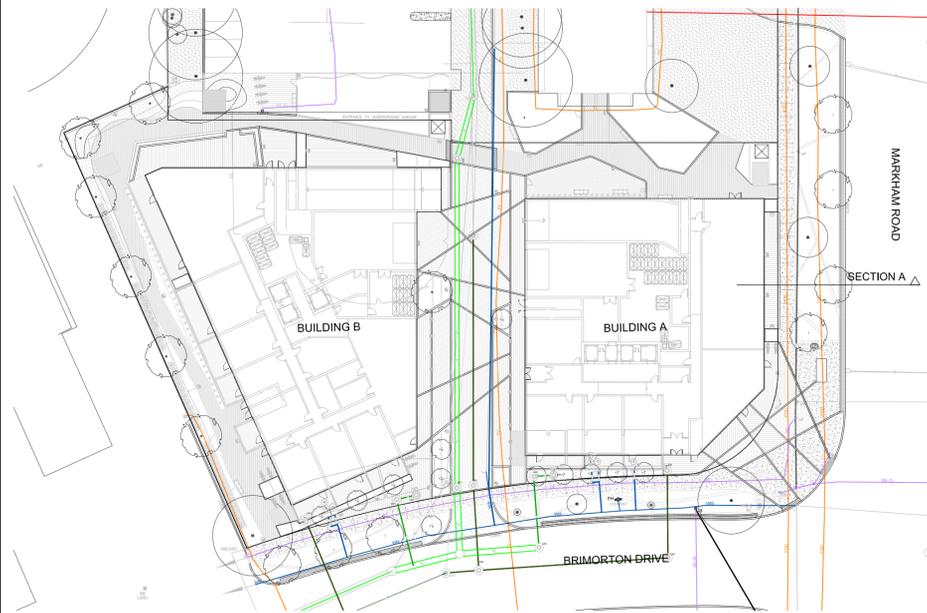
255 Wilsdale Ave., Unit 14 | Toronto, Ontario, Canada M6H 1S8
T: (416) 448-7787 | F: (416) 448-1803 | www.mbtw.com

Project Name:
1050 Markham Road
City of Toronto

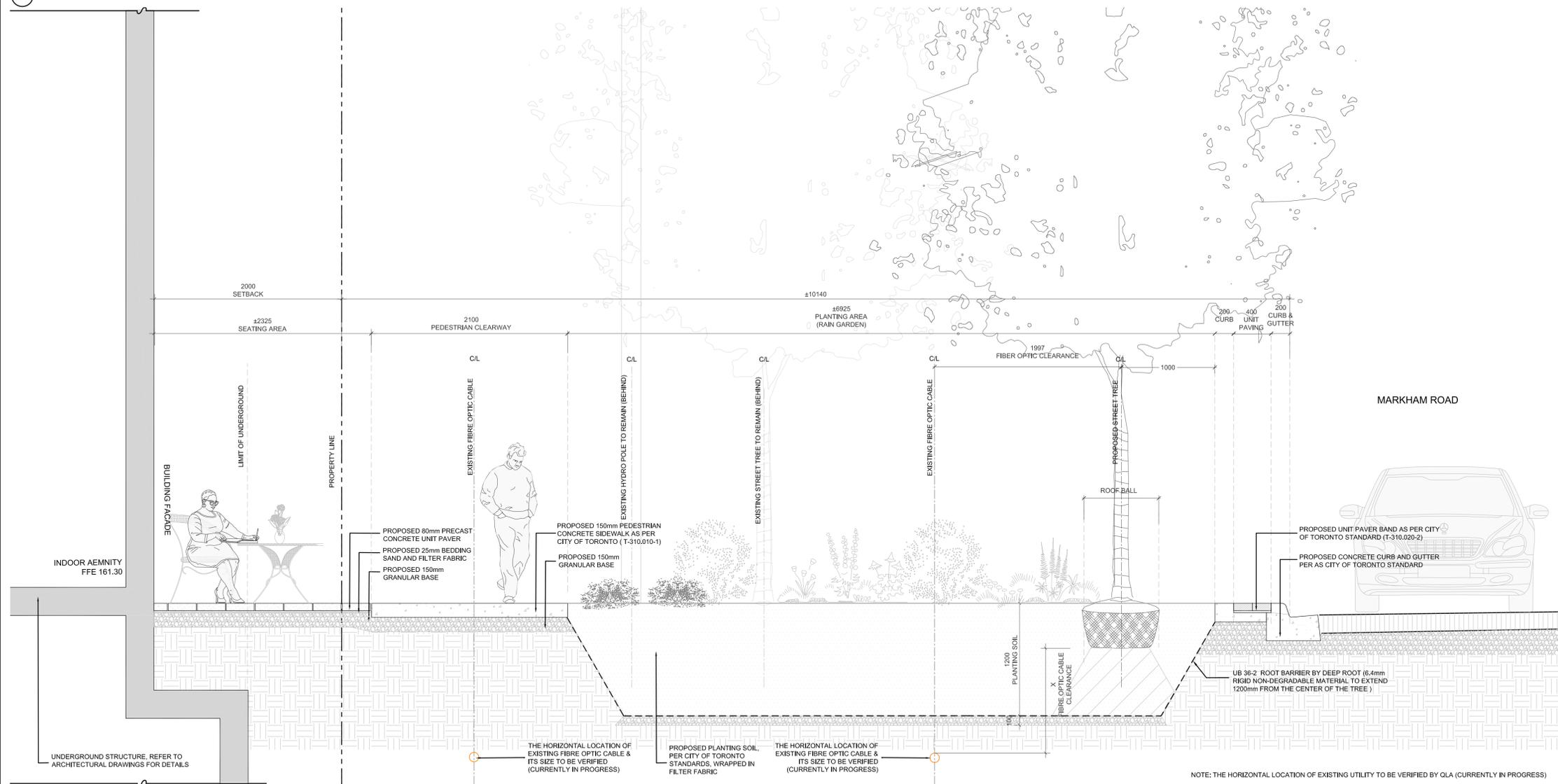
Sheet Title:
Green Roof Plan and Details

Designed: SM	Drawn: PP	Scale: AS SHOWN	Drawing No.:
Date of Drawing: May 2024	Job No.: CRT001		L6

K:\2024\1050-Markham-Road-CRT001-1050-Markham-Road-Green-Roof-Plan-and-Details.dwg Jun 10, 2024 - 8:10am



Key Plan Scale: 1:500



1 Landscape Section A - Markham Road Streetscape

Scale: 1:25

Key Plan



Legend

- *Clearance Guidelines as per City of Toronto Appendix C: Vertical, Horizontal
- Bell Canada Conduit
Clearance (V=600mm, H=600mm)*
 - Water Main
Clearance (V=300mm, H=750mm)*
 - Combined Sewer
Clearance (V=500mm, H=900mm)*
 - T.H.E.S. Conduit
(V=300mm, H=600mm)*
 - Storm Sewer
Clearance (V=300mm, H=750mm)*
 - Gas Main
Clearance (V=300mm, H=600mm)*

No	Date	Revisions	By
1.0	06.07.2024	ISSUED FOR ZBA SUBMISSION #1	GM

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Designed By:

North Arrow:

Canadian Apartment Properties REIT

the mbtw group
255 Wilsdale Ave., Unit 14 | Toronto, Ontario, Canada M6H 1S8
T: (416) 441-7787 | F: (416) 441-1803 | www.mbtw.com

Project Name:
1050 Markham Road
City of Toronto

Sheet Title:
Streetscape Sections

Designed: SM	Drawn: PP	Scale: AS SHOWN	Drawing No.: L7a
Date of Drawing: January 2024	Job No.: CRT001		



Key Plan

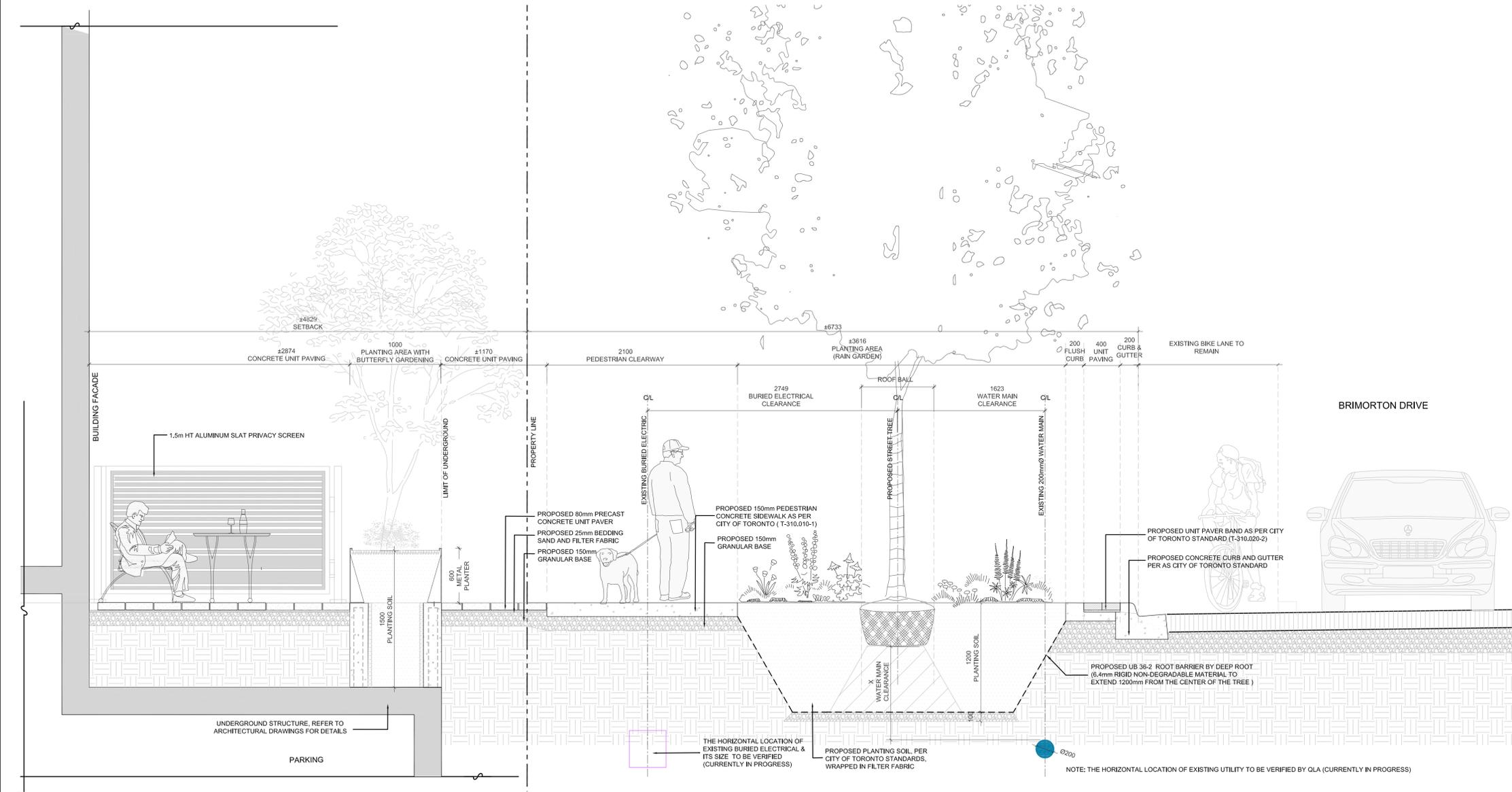
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Key Plan



Legend

- *Clearance Guidelines as per City of Toronto Appendix C:
 Vertical, Horizontal
- Bell Canada Conduit
Clearance (V=600mm, H=600mm)*
 - Water Main
Clearance (V=300mm, H=750mm)*
 - Combined Sewer
Clearance (V=500mm, H=900mm)*
 - T.H.E.S. Conduit
(V=300mm, H=600mm)*
 - Storm Sewer
Clearance (V=300mm, H=750mm)*
 - Gas Main
Clearance (V=300mm, H=600mm)*



1 Landscape Section B - Brimorton Drive Streetscape

Scale: 1:25

No	Date	Revisions	By
1.0	06.07.2024	ISSUED FOR ZBA SUBMISSION #1	GM

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Professional seal of the Ontario Association of Landscape Architects (OALA) and a North Arrow symbol.

Logos for Canadian Apartment Properties REIT and the mbtw group.

Project Name:
1050 Markham Road
 City of Toronto

Sheet Title:
Streetscape Sections

Designed: SM	Drawn: PP	Scale: AS SHOWN	Drawing No.:
Date of Drawing: January 2024	Job No.:CRT001	L7b	